

Our Ref: PR29099  
Enquiries: C Tainsh

7 Orchard Avenue Armadale  
Western Australia 6112  
Locked Bag 2 Armadale  
Western Australia 6902  
T: (08) 9394 5000  
F: (08) 9394 5184  
info@armadale.wa.gov.au  
www.armadale.wa.gov.au  
ABN: 798 6326 9538

8 December 2025

C Wilson – Professionals Armadale  
20 Forrest Road  
ARMADALE WA 6112

Dear Sir/Madam

**REQUEST BUILDING RECORDS – SPECIFIC SET OF RECORDS  
LOT S/L: 1, 1/12 DICKENS PLACE ARMADALE 6112**

Please find the enclosed records for the Factory Units (Class 8) on the above property as per your recent request.

**DISCLAIMER:**

*The City does not have a complete historic record of all structures within its district. Building records may not be to scale or depict all structures, therefore, may not be suitable for submission with future building applications.*

*The City of Armadale expressly disclaims liability for any loss or damage suffered by any person as a result of relying on or acting on the basis of any advice or information provided in the course of collating the above records.*

Should you require further information, please contact Building Services on 9394 5000 or email [info@armadale.wa.gov.au](mailto:info@armadale.wa.gov.au).

Yours sincerely



**BUILDING DEPARTMENT**

Enc.



# CITY OF ARMADALE

Office: 7 Orchard Ave, Armadale, WA 6112 Locked Bag No.2, Armadale, WA 6992

Phone: (08) 9399 0111 Fax: (08) 9399 0184

LOCAL GOVERNMENT (Miscellaneous Provisions) ACT 1960, s.374

FORM 4



City Living  
Country Style

BUILDING LICENCE PERMIT NO. 170516

Granted to: FEATURE HOMES

Date: 03.12.97

Address: PO BOX 229  
ARMADALE

authorising the construction(or alteration)of certain buildings in the

Ward: ARM

Ass No: A228381

House No: 6

Lot: 756

Street: DICKENS PL

Locality: ARMADALE

Application No: 970157

Date: 22.08.97

and in accordance with the approved plans, drawings and specifications and subject to the provisions of the Building Regulations 1989 made under the Local Government (Miscellaneous Provisions) Act 1960. Whenever required to do so by the City Building Surveyor, the holder for inspection.

Type of Building: FACTORY UNITS

Est Value of Building: [REDACTED]

Building Area: 100 sq m

Name & address of Owner:

\*JBT THE BRIGGS FAMILY TRUST, \*WT THE WILSON FAMILY TRUST PO

having read the conditions and requirements as shown in the plans, I agree that they form part of this licence.

Owner/Buil [REDACTED]

## NOTE:

**DEPARTURE FROM APPROVED PLANS:** No variation from or alteration of approved plans and specifications shall be made by any builder without the written consent of the Principal Building Surveyor.

**SECOND HAND MATERIALS:** Cannot be used unless written approval is obtained from the Building Services Manager.

**VEHICLE CROSSINGS:** Building or other works necessitating crossing a road, kerb or footpath shall not be commenced until application is made, and the deposit paid to the Council.

**WATER CORPORATION:** The plans subject to this Licence are required to be submitted to the Water Corporation before work is commenced.

**LICENCE BECOMES VOID:** if the work is not substantially commenced WITHIN ONE

(1) YEAR of the date of issue of the Licence, a new licence shall first be obtained before work proceeds.

**BUILDING CONTROL DISCLAIMER:** This disclaimer of legal liability or responsibility shall have, and is intended to have, effect as a condition of the building licence hereby issued.

Whilst Council has inspected the plans and specifications with a view to ascertaining the extent of compliance of the proposed building with all relevant by-laws, regulations and statutory provisions, ("the statutory provisions") and reserves the right to carry out site inspections, Council disclaims all legal liability and responsibility for:

i. actual compliance by the plans and specification with the statutory provisions; or for

i. any defect (latent or patent) in the design and/or construction of the subject building;

ii. defect in the foundations or in the materials used in the construction of the building.

You as builder/building owner must take responsibility in relation to each and all of the foregoing matters and not rely upon the Council in relation thereto. By acting upon this permit, you as builder/building owner release and discharge the Municipality from all liability in relation to such matters, and indemnify the Municipality from all claims for loss or damage sustained by you and any successors in title by reason of non-compliance with the plans and specifications and/or the building with the statutory provision, or by reason of any such defects.

# CITY OF ARMADALE

Office: 7 Orchard Ave, Armadale, WA 6112, Locked Bag No. 2, Armadale, WA 6112  
Phone: (08) 9399 0111 Fax: (08) 9399 0184



CITY OF ARMADALE  
COUNCIL  
Building Style

## CONDITIONS OF BUILDING LICENCE

Application No: 970157 Lot No: 756 Street Name: DICKENS PLACE

The conditions listed below shall be read in conjunction with the approved plan attached.

- 1 The area to be occupied by the building to be cleared and excavated removing all horus type top soil and vegetation and replacing it with clean fill in accordance with the Structural Engineers requirements.
- 2 Arrange site meeting with Building Surveyor prior to commencement of works.
- 3 Termite treatment to be undertaken in strict compliance with AS 3660.1, 1995 (Protection of New Buildings from Subterranean Termites). If a concrete floor slab is to be used as a barrier, construction must comply in all aspects with AS 2870.

The life expectancy of chemicals approved by the National Registration Authority range between 6 and 10 years.

*Note: It is the builder's responsibility under Section 2 of the standard to determine the termite load on the building prior to designing and installing the barrier.*

- 4 Copy of compaction certificate for existing soil and sand fill shall be made available before placement of footings or concrete slab floor.
- 5 All footings and floor slabs shall be inspected by Council Staff prior to the concrete being poured. The City's Building Surveyor requires 24 hours notice of any concrete pour to footings or other structural work (slab, retaining walls, etc).
- 6 Roof drainage shall be installed in accordance with Council's requirements and Part 3.1.2 of the Building Code of Australia (BCA).
- 7 Access for Facilities for people with disabilities must be provided in strict compliance with Part D3 the Building Code of Australia. In addition, it is strongly recommended that builders, developers and building owners take all necessary additional actions to achieve compliance with the Disability Discrimination Act.

A copy of a City of Armadale Information Sheet dealing with this matter is attached.

Also attached is an information package prepared by the Human Rights and Equal Opportunity Commission "Advisory Notes on Access to Premises".

- 8 Occupation of a building Classes 2-9 is prohibited until the Council has issued a Certificate of Classification in accordance with Part 5 of the Building Regulations 1989.
- 9 The Certificate of Classification referred to above will not be issued until all development is completed in accordance with the approved plans and all Planning consent conditions have been satisfied. Note: The WA Fire Brigade's Board will be invited to inspect the building before the Certificate is issued.
- 10 Please advise Building Department on completion of building.
- 11 Building Licence current for 24 months but substantial work must commence within 12 months.
- 12 NOTE: This Licence is issued subject to compliance with the Building Code of Australia 1996 Volume One incorporating Class 2 to Class 9 Buildings to achieve the general provisions, objectives, functional statements and performance requirements as set out in the Code.

# FIRE & RESCUE

DEPARTMENT OF WESTERN AUSTRALIA

File Ref: PR:333159/01

You Ref:

Fire and Rescue Fire Projects Branch  
 200 The Boulevard, Perth  
 Perth Western Australia 6000  
 Telephone: (08) 9447 4444  
 Fax No: 9447 4000  
 Prevention & Risk Management

From: 9323 9300 Mr Paul Ryan

I23219

CITY OF ARMADALE	
23 OCT 1997	
BSM	#
A 228351	

22 October 1997

Specialized Tank Cleaning Service  
 PO Box 573  
 RIVERTON WA 6155

LL

Dear Sir/Madam,

**PROJECT:**

**NAME:** Factory  
**ADDRESS:** Lot 756, Dickens Place, Armadale  
**OCCUPANCY CLASSIFICATION:** 3/8  
**TYPE OF CONSTRUCTION:** C

Thank you for submitting plans of the above project for examination.

I am pleased to advise that based on the information provided, your plans comply with the Fire Requirements of the Building Code of Australia (as amended), except for the items listed below. Notwithstanding this, it will be necessary for you to confirm in writing that the matters listed, have been amended.

Please contact Paul Ryan of our Structural Safety Branch should you have any queries in this regard.

1. **BCA C1.11 - Performance of external walls in fire**

A building of two storeys or less incorporating concrete external walls that could collapse as complete panels, must be designed so that in the event of fire, the likelihood of outward collapse of the walls is minimised.

Please submit a professional engineer's certificate showing that these walls have been designed and constructed to comply with this requirement.

2. **BCA C2.7 Separation by fire walls**

A firewall required by the Building Code, must be designed and constructed so that its fire resistance level is maintained for the required period, regardless of collapse of associated roof or other adjacent structure, due to fire.

Please submit a professional engineer's certificate showing that the fire wall has been designed and constructed to comply with this requirement.

Yours faithfully,



3. BCA C2.7 Separation by fire walls

A fire wall required by the Building Code, must be designed and constructed such that any penetrations or gaps are fully sealed to ensure that the fire resistance level of the wall is maintained. The wall must also extend into any void formed in the eaves overhang, between the eaves soffit and roof covering.

4. BCA D2.31 - Operation of door latch

All required exit doors and doors in the path of travel to a required exit, must be readily operable without a key from the side that faces a person seeking egress, by a single hand downward action or pushing action on a single device which is located between 900 mm and 1.2 m from the floor.

Where electronic type latches are fitted to exit doors, please submit documentation from the installer, certifying that the latches comply with the Building Code.

5. BCA D1.10 Discharge from exits

a. An exit must not be blocked at the point of discharge and where necessary, suitable barriers must be provided to prevent vehicles blocking the exit or access to it.

6. BCA E1.6 - Portable fire extinguishers

Install portable fire extinguishers containing an extinguishing agent suitable for the risk being protected. Installation of extinguishers that comply with AS 2444, satisfies the requirement of Clause E1.6 of the Building Code.

Note:

- (i) Water type extinguishers need not be installed in a building or part of a building served by a fire hose reel.
- (ii) Where water type extinguishers are provided, they must be located wherever practicable, adjacent to required exits.
- (iii) Extinguishers provided for other than Class A fires, must be located adjacent to the relevant risk.

7. BCA E4.5 Exit signs

An additional exit sign is required at the office doors in unit 1 and 2.

page 3

During the construction phase, the builder must of course ensure that this project complies with all applicable codes and any conditions imposed by the Local Authority.

Yours faithfully,



For  
MANAGER  
STRUCTURAL SAFETY BRANCH (OPERATIONS)

cc: File  
City of Armadale

METROPOLITAN REGION SCHEME

Form 2

CITY OF ARMADALE - TOWN PLANNING SCHEME NO 2

APPROVAL : TO COMMENCE DEVELOPMENT

Name of Owner of  
Land on which  
Development  
Proposed

SURNAME: [REDACTED]  
[REDACTED]

Address: PO BOX 573, WILLETTON

Approval to commence development in accordance with the Application dated 10 July 1997 and the attached Plans

FOR: YARD AREA VARIATION TO BUILD THREE FACTORY UNITS

AT: LOT 756 DICKENS PLACE, ARMADALE

is granted subject to the following conditions:

1. Receipt of an undertaking, in writing, by the landowner, that no storage of materials or products will be allowed outside the building/s and refuse bins will not be kept in public thoroughfares, parking areas or public visible places on site prior to issue of a building licence.
2. Wall positioned on the side boundary of the lot to be of brick or masonry construction and finished/painted to Council's satisfaction.
3. The occupation and use of each unit in the development to be subject to the prior written approval of Council (this applies to both the initial tenant and any subsequent tenants).
4. The colour scheme and the use of building material types relative to the external appearance of the development to be submitted to the Executive Director of Development Services and such submission approved by the said officer prior to issue of a building licence.
5. A comprehensive stormwater drainage plan satisfactory to Council is to be submitted to the Executive Director of Technical Services and such plan approved prior to issue of the building licence. All drainage work to be constructed as per approved plan.

6. All hard standing areas (eg. car parking area, crossovers, driveway vehicle manoeuvring space) unless otherwise determined by Council, to be constructed, drained, sealed and kerbed to the requirements of the Executive Director of Technical Services in accordance with the approved site plan.
7. Parking and drainage to be constructed to the satisfaction of the Executive Director of Technical Services.
8. All parking bays on site to be clearly identified.
9. The development to be connected to reticulated sewers.
10. The planting of trees, shrubs and ground covers in the landscape areas indicated on approved site plan. The type and height of trees to be approved by the Manager, Parks and Gardening Facilities. Your attention is drawn to the attached list of planting which we suggest as being suitable for garden areas adjacent to car parks etc. All landscaping material is required to be maintained for the duration of use of the development to the satisfaction of Council.
11. All internal dividing fences and other property boundary fences to be 1.8m high measured from the new ground level to the satisfaction of the Executive Director of Development Services.
12. All work specified in this approval to be completed to the satisfaction of Council prior to building occupancy.

#### FOOTNOTES

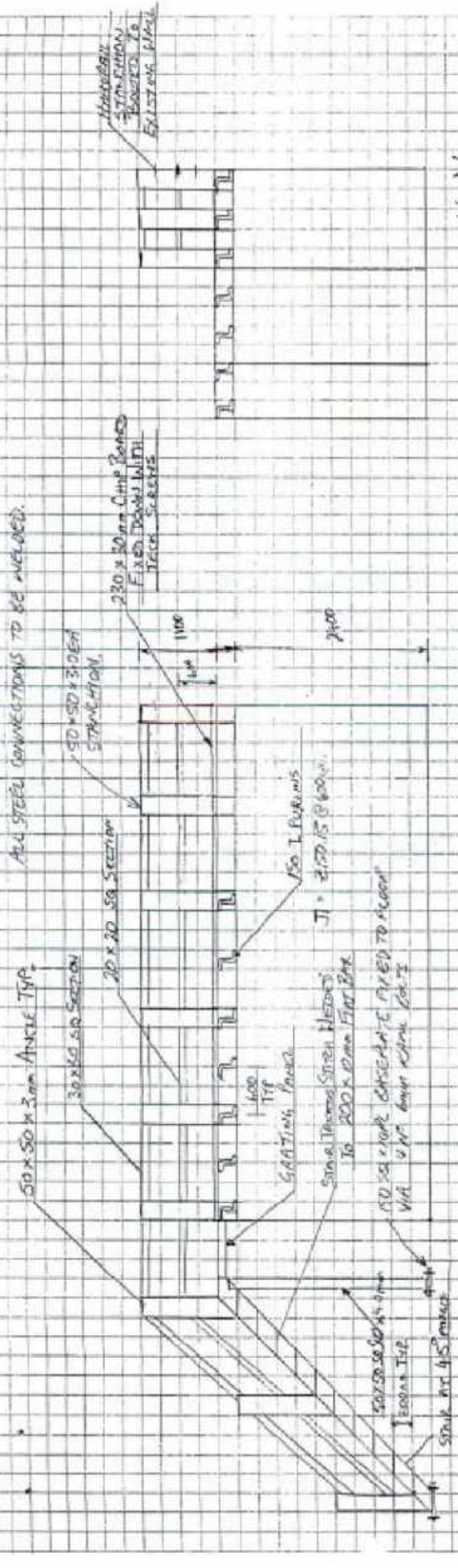
- A. A building licence or any other approval issued pursuant to this Planning Consent can only be exercised within the currency of this Consent and does not in itself authorise development or continuation of development once the Consent has lapsed.
- B. Further to this approval applicant is required to submit working drawings and specifications to comply with the requirements in Part 4 of the Building Regulations 1989 and the Health Act which are to be approved by the City's Building and Health Surveyors prior to the issue of the building licence. All work relative thereto to be completed to the satisfaction of the said officers prior to the building occupancy.
- C. The use of the office component to be incidental and relative to the industrial uses on-site.
- D. A planning application will need to be submitted to Council indicating the comprehensive advertising sign format for the site. Subsequent applications for sign licences shall conform to the planning consent as issued by Council.

If the development the subject of this approval is not substantially commenced within a period of 24 months from the date of this letter, the approval shall lapse and be of no further effect. Where an approval has lapsed, no development shall be carried out without the further approval of the responsible authority having first been sought and obtained.

-----  
ACTING PLANNING SERVICES MANAGER

EP:LP

20 August, 1997



SECTION THROUGH 'A-A'



NOTES

1. ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA
2. ALL TIMBERWORK TO BE IN ACCORDANCE WITH (a) AS1720 - TIMBER FRAMING CODE (b) AS1720 - TIMBER STRUCTURES CODE
3. ALL FABRICATION AND ERECTION OF STEELWORK TO BE IN ACCORDANCE WITH AS4100 - STEEL STRUCTURES CODE
4. ALL WELDING TO BE IN ACCORDANCE WITH AS1554 - PT 1 - WELDING OF STEEL STRUCTURES
5. (a) ALL EXTERNAL STEELWORK TO BE WIRE BRUSHED OR BLASTED TO CLASS 2.5 AND PRIMED WITH INORGANIC ZINC SILICATE PRIMER TO MANUFACTURER'S SPECIFICATION UNLESS NOTED OTHERWISE (b) INTERNAL STEELWORK MAY BE LEFT UNTREATED (c) ALL BOLTS TO BE GALVANIZED

UNIT 2

**NOTE:**  
 ALL CONDITIONS AS PER APPROVED PLANS

AMENDED

OUTLINE OF ARMATURE

**STRUCTURE ENGINEERS**  
 GONSLOCK STRUCTURAL ENGINEERS  
 1/10/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100

MEZANINE DECK
LOT 756 DISCRETE PANE
ARMADALE





*Specialized*  
**TANK CLEANING**  
*Services*

Tanks Cleaned, Degassed and Replaced  
Systems Chemically Flushed  
All Types of Industrial Cleaning  
Water Treatment Plant for Waste Disposal

24 STUART DRIVE, HENDERSON WA 6166  
MOBILE: 0428 927 827 TEL: (08) 9437 9380 FAX: (08) 9437 9400  
A.B.N. 45 009 929 109

Building Design and Illustration  
2 Trewarn Place  
BEDFORDALE  
WA  
6112

28/09/05

Attention: Arnold Schiebaan

Reference: Factory Additions

I Frank Wilson, being the owner of unit 3 / 12 Dickens Place, Armadale, grant permission for Arnold Schiebaan Building Design and Illustrations to obtain building plans from the City of Armadale to aid him in the design of proposed additions and alterations.




170516

---

**K.A WILLIAMSON BCE MIEAust CPEng**

---

**CIVIL/STRUCTURAL CONSULTING ENGINEER**  
42 Regency Drive Crestwood Estate Thornlie WA 6108  
phone/fax 09 4598800 

The Building Surveyor  
City of Armadale

ref: V 70730 Proposed Development  
lot 756 Dickens Place Armadale

In my opinion, in the event of a catastrophic fire in any unit

- 1 the tilt panels of the external walls would fall into the building.
- 2 the tilt panel fire walls would maintain the required separation.

Yours sincerely



CITY OF ARMADALE

---

**K.A WILLIAMSON BCE MIEAust CPEng**

---

**CIVIL/STRUCTURAL CONSULTING ENGINEER**

42 Regency Drive Crestwood Estate Thornlie WA 6108

phone/fax 08 9459 8800 

**INITIAL SITE REPORT - CLAY SITE**

By Visual Surface Inspection.

client

Vista Designs

u4/201 Sevenoaks Street

Queens Park WA 6107

ref - V 70730

owner - NA

site -

lot - 756 Dickens Place Armadale

vegetation - grass

**soil log**

topsoil - 0 >100 sand

then slightly clayey gravel to > 600 depth

surface water - shallow sheet flow

groundwater - na

CITY OF ARMADALE

**Classification to AS2870 - S stable - clayey gravel**

**Min structural sandfill over cut site - 150 under floor slabs**

**CONDITIONS**

Cut the site to required levels. Ensure the cut surface is free draining.

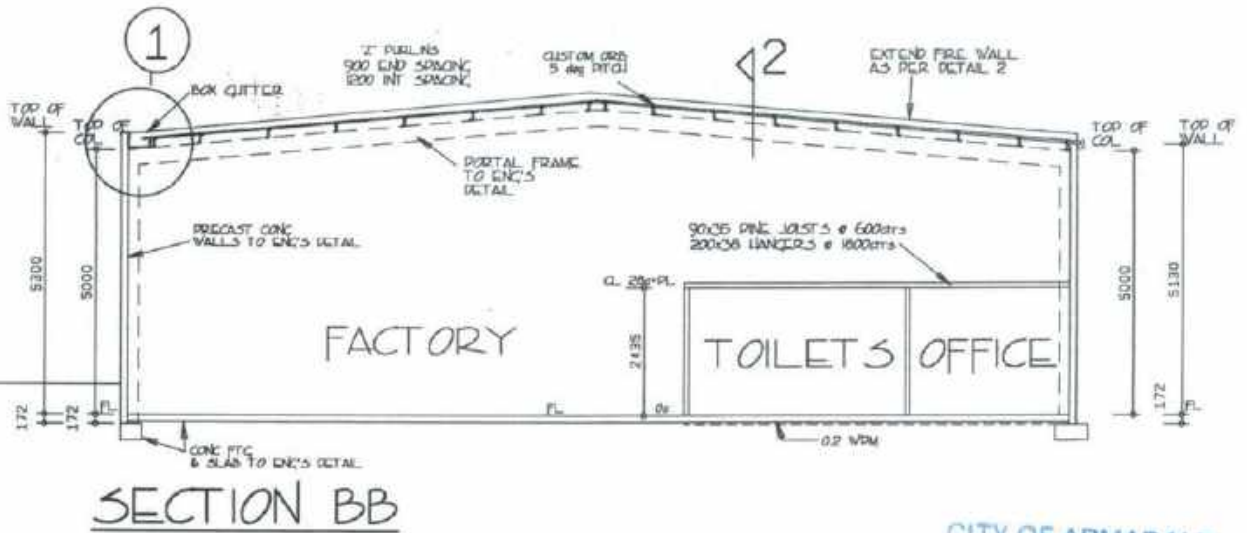
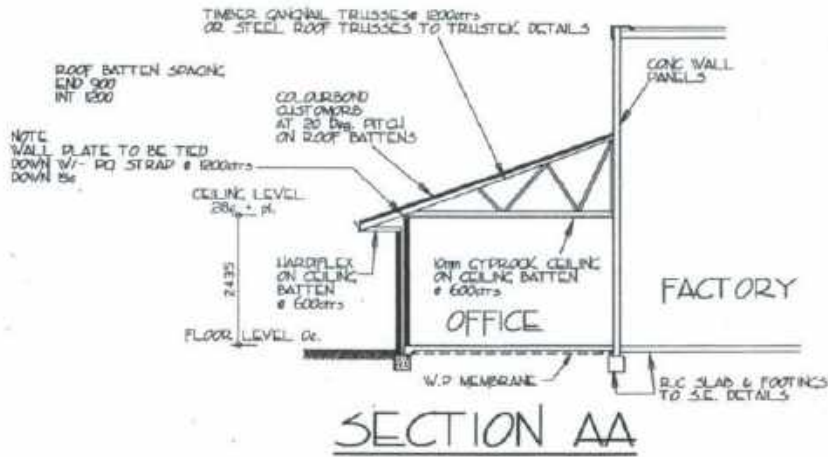
Dig footings into natural ground.

Install subsoil drain full length of high side. Add 150 sand to underside of floor.

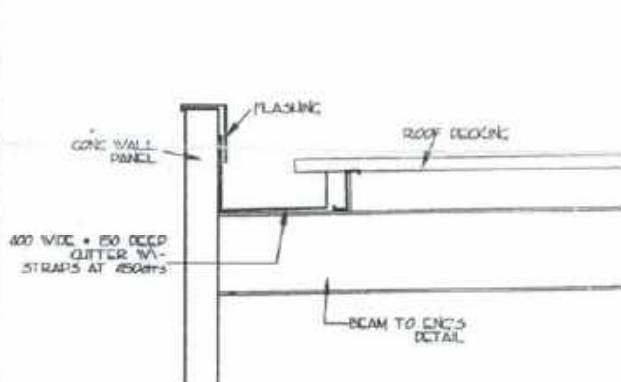
Finished levels to satisfy minimum sandfill above, architectural drawings, & council & plumber requirements.

if unforeseen conditions are encountered during excavation - before filling call the engineer to check the cut site & to confirm the conditions & to adjust details if required.

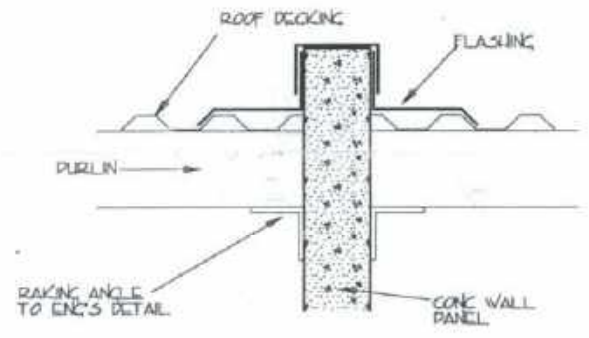




CITY OF ARMADALE



1/20 DETAIL 1



1/10 DETAIL 2

<b>VISTA DESIGNS</b> Architectural Drafting Design Service SUITE 4 201 SEVENOAKS ST QUEENS PARK 6107 TEL 4584995 FAX 4584995 © COPYRIGHT	DATE	No.	REVISIONS	TITLE	DATE
				PROPOSED FACTORY LOT 756 DICKENS PLACE ARMADALE	AUG 97
					SCALE
					DRAWN BY
					DWG. No.
					SHEET No.

Our Ref : A228381  
Enquiries : [REDACTED]

21 July 1998

Feature Homes  
P.O. Box 229  
ARMADALE WA 6112

[REDACTED]  
*FACTORY - BUILDING LICENCE 178516  
LOT 756 DICKENS PLACE, ARMADALE*

Reference is made to an inspection carried out at the above property on the 21 July 1998.

It has come to my attention that the slab has not been poured in accordance with the approved engineers detail, and fractures are occurring.

My observations included:

1. concrete less than 100mm thick (in some places down to 60mm)
2. incorrect reinforcing mesh (in some places F53 instead of F63 without lapping)
3. mesh located on the ground (instead of the 30mm top cover)

You are advised to cease works and gain confirmation from the engineer that the building is structurally adequate and in compliance with the Building Code of Australia 1996.

Should you require any further information please contact me at the City's Building Department on Ph: 93990159.

Yours sincerely

R S BYL  
BUILDING SURVEYOR

cc [REDACTED]  
P.O.Box 573  
WILLETTON WA 6155

# STRUCTERRE

CONSULTING CHARTERED ENGINEERS

3/13 GIBBERD RD, SALCATA, W.A. 6021.

TELEPHONE : (08) 9345 3586

FACSIMILE : (08) 9345 1084

REGIONAL OFFICES: SUNBURY, DARWIN

## DIRECTORS

M.A. YOUNG, B.E., M.I.E.Aust., C.P.Eng.

G.J.L. PURICH, B.E., M.I.E.Aust., C.P.Eng.

G.J. HIGHAM, B.E., M.I.E.Aust., C.P.Eng.

## CONSULTANT

P. PURICH, B.E., M.I.E.Aust., M.I.M.M.

30th November, 1998

↓ Copy and refer  
to court ↓

Ref: GP/al/98-3004

The Manager  
Feature Homes  
PO Box 229  
ARMADALE 6112

Dear Sir

**RE: LOT 756 DICKENS PLACE, ARMADALE.  
BUILDING LICENCE 170516.**

As requested, an Engineer from this office has visited the abovementioned site to inspect three items of concern raised in a letter from the City of Armadale, dated July 21st, 1998, reference A 228381.

The observations are as follows:-

- 1 / Concrete less than 100mm thick (in some places down to 60mm).
- 2 / Incorrect reinforcing mesh (in some places F53 instead of F63, without lapping).
- 3 / Mesh located on the ground (instead of the 30mm top cover).

The inspection of the 23rd resulted in a concurrence with the observations made by the City of Armadale. These features were not evident for the entire area but were evident in certain locations.

A consequence of these features, along with damage to the edge of the slab caused by vehicle movement, it is considered that they are predominantly aesthetic and serviceability issues, as they may affect the performance of the building but they will not cause the building to be structurally jeopardized, resulting in a catastrophic failure which ultimately causes risk to life and limb, or to result in the structure not being fit for purpose.

That is, the slab may not perform as originally intended. Nevertheless, it will provide an adequate level of serviceability, albeit potentially increasing the level of maintenance required.





**LENZ & MILNE**  
LAND DEVELOPMENT CONSULTANTS  
LICENSED SURVEYORS

9 PAGE ROAD  
KELMSCOTT W.A. 6111  
TELEPHONE: (081) 390 5999

POSTAL  
P.O. BOX 171  
KELMSCOTT W.A. 6111  
FACSIMILE: (081) 441 2987



YOUR REF \_\_\_\_\_

OUR REF L1542

Tuesday, 29 February 2000

Specialized Tank Cleaning Services  
3 12 Dickens Place  
ARMADALE WA 6112

Attention: 

Dear Sir

**LEVEL SURVEY OF BITUMEN CAR PARK  
12 DICKENS PLACE, ARMADALE**

Attached is a copy of a plan showing the result of our survey of the bitumen car park at 12 Dickens Place, Armadale. The datum for our survey has been assumed.

Please advise our office if the information supplied satisfies the Engineer at the City of Armadale, or if a report is to be prepared by our Engineer to accompany this sketch.

Should you require any additional information, please do not hesitate to contact our office.

Yours faithfully,





**LENZ & MILNE**  
LAND DEVELOPMENT CONSULTANTS  
LICENSED SURVEYORS

9 FACE ROAD  
KELMSCOTT W.A. 6111  
TELEPHONE: (09) 392 3999

POSTAL:  
P.O. BOX 171  
KELMSCOTT W.A. 6111  
FACSIMILE: (09) 445 2987

[REDACTED]  
YOUR REF \_\_\_\_\_

OUR REF L1542

Tuesday, 29 February 2000

Specialized Tank Cleaning Services  
3 12 Dickens Place  
ARMADALE WA 6112

[REDACTED]  
Dear Sir

**LEVEL SURVEY OF BITUMEN CAR PARK  
12 DICKENS PLACE, ARMADALE**

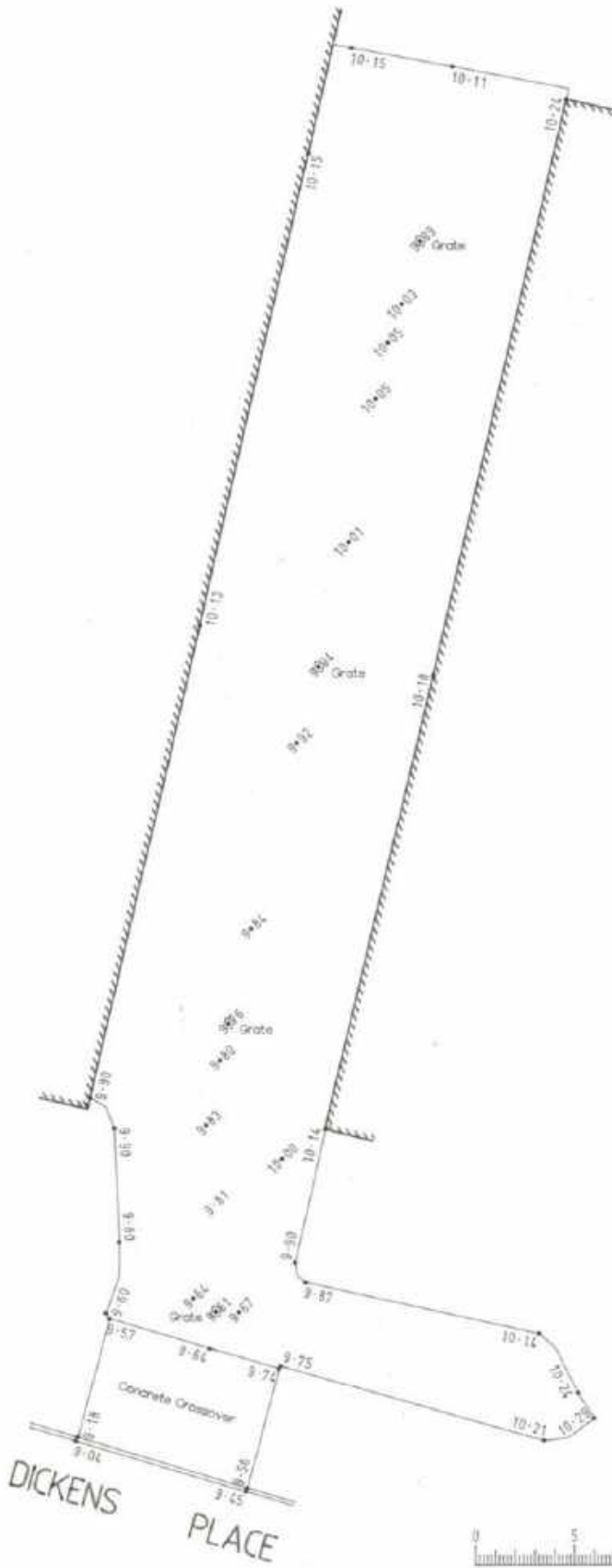
Attached is a copy of a plan showing the result of our survey of the bitumen car park at 12 Dickens Place, Armadale. The datum for our survey has been assumed.

Please advise our office if the information supplied satisfies the Engineer at the City of Armadale, or if a report is to be prepared by our Engineer to accompany this sketch.

Should you require any additional information, please do not hesitate to contact our office.

Yours faithfully,  
[REDACTED]

\* Copy and return to Owners \*



LEVEL DATUM HAS BEEN ASSUMED.



**LENZ & MILNE**  
 9 Page Road, HELMSCOTT  
 P.O. Box 171, WA 6991  
 Tel: (08) 9390 5999 Fax: (08) 9390 5558  
 email: lenz@makja.com.au

OPERATIONAL OFFICES	
Kilnscott WA	Karratha WA
Hindstons Business Park WA	Port Hedland WA
Broome WA	Derby WA

SCALE 1:250	CAD FILE NAME: DWG D251		
SURVEYED BY: HED	SIGNATURE: <i>HED</i>	DATE: 28-02-00	
PROCESSED BY: DTG	SIGNATURE: <i>DTG</i>	DATE: 28-02-00	
DRAWN BY: DTG	SIGNATURE: <i>DTG</i>	DATE: 28-02-00	
DESIGNED BY: n/a	SIGNATURE: n/a	DATE: n/a	
CHECKED BY: HED	SIGNATURE: <i>HED</i>	DATE: 28-02-00	
APPROVED BY: DTG	SIGNATURE: <i>DTG</i>	DATE: 28-02-00	

LEVEL SURVEY OF BITUMEN CAR PARK AREA  
 12 DICKENS PLACE ARMADALE

Mr F WILSON

JOB No: L1542 REV: A B C D E F DRAWING No: 1542/01/00

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 In the absence of "Approved by" signature this plan is invalid and MAKJaP Pty. Ltd. is not responsible for its contents.



**LENZ & MILNE**  
 Land Development Consultants and  
 Licensed Surveyors  
 ACN 009 183 831

*Local Government (Miscellaneous Provisions) Act 1960, s. 374C  
Building Regulations 1989, reg 20 (1)*

## CERTIFICATE OF BUILDING CLASSIFICATION

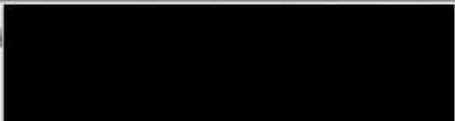


**Local Government:** CITY OF ARMADALE

<b>Building</b>	<b>Address</b>	<b>No:</b> 6	<b>Street name:</b> DICKENS PLACE
		<b>Suburb:</b> ARMADALE	<b>Postcode:</b> 7112
	<b>Lot/location No:</b> 756		

**Building Licence No:** 170516      **Certificate No:** 11/00

<b>Classification</b>	<b>Storey or portion of building</b>	<b>Classification(s)</b>
	ALL OF SINGLE STOREY	CLASS 8

<b>FOR Chief Executive Officer</b>	<b>Name:</b> T M REILLY
	<b>Signature:</b>  <b>Date:</b> 13 September 2000

# STRUCTERRE

CONSULTING CHARTERED ENGINEERS

3/15 GIBBERD RD, BALCATTA, W.A. 6011

TELEPHONE : (08) 9345 3566  
FACSIMILE : (08) 9345 1084

REGIONAL OFFICES: DUNBURY, DARWIN

## DIRECTORS

M.A. YOUNG, B.E., M.I.E.Aust., C.P. Eng.  
G.J.L. PURICH, B.E., M.I.E.Aust., C.P. Eng.  
G.J. HUGHAM, B.E., M.I.E.Aust., C.P. Eng.

## CONSULTANT

P. PURICH, B.E., M.I.E.Aust., M.I.M.M.

30th November, 1998

\* Copy and return  
to owners \*

Ref: GP/al/98-3004

The Manager  
Feature Homes  
PO Box 229  
ARMADALE 6112

Dear Sir

RE: **LOT 756 DICKENS PLACE, ARMADALE.  
BUILDING LICENCE 170516.**

As requested, an Engineer from this office has visited the abovementioned site to inspect three items of concern raised in a letter from the City of Armadale, dated July 21st, 1998, reference A 228381.

The observations are as follows:-

- 1 / Concrete less than 100mm thick (in some places down to 60mm).
- 2 / Incorrect reinforcing mesh (in some places F53 instead of F63, without lapping).
- 3 / Mesh located on the ground (instead of the 30mm top cover).

The inspection of the 23rd resulted in a concurrence with the observations made by the City of Armadale. These features were not evident for the entire area but were evident in certain locations.

A consequence of these features, along with damage to the edge of the slab caused by vehicle movement, it is considered that they are predominantly aesthetic and serviceability issues, as they may affect the performance of the building but they will not cause the building to be structurally jeopardized, resulting in a catastrophic failure which ultimately causes risk to life and limb, or to result in the structure not being fit for purpose.

That is, the slab may not perform as originally intended. Nevertheless, it will provide an adequate level of serviceability, albeit potentially increasing the level of maintenance required.

At this stage, other than repairing that section of damaged slab, it is not justifiable to lift the slabs and re-cast, to deal with these non-conformances. It would be appropriate to enter into a contractual arrangement whereby the owner acknowledges the potential for a high level of maintenance, and as such, can plan appropriately.

Where the slab has been damaged excessively and has been cut away, it is recommended that the new section be cast by connecting to the whole section via Y12 dowel bars at 400 c/c, epoxied 100mm into the existing slab and cast 200mm into the new slab.

If you should have any queries, please do not hesitate to contact this office.

Yours faithfully



c.c. Specialised Tank Cleaning Services  
PO Box 573  
WILLETTON 6155

- 4) The application was received on 21<sup>st</sup> August 1997, under the builders name of **FEATURE HOMES, Bld. Reg. No. 2771**. I rang the phone number supplied on the application and left a message for the builder to contact me A.S.A.P. The return phone call came from a Mr Frank Wilson who informed me that he was the owner. He stated that his owner concrete company would be doing the actual work, therefore, they only submitted the cost of materials.
- 5) I requested that he submit in writing a written "breakdown" of all costs for this project A.S.A.P. He stated that for the next few days he would be working out of town, therefore, he would try and have it to me on Friday (16<sup>th</sup> Jan) or Monday (19<sup>th</sup> Jan).



ACTING BUILDING SERVICES MANAGER

CONTRACT S. BRIGGS  
TEL 94560427

**PROJECT**

ref V 70730

**PROPOSED DEVELOPMENT**  
**LOT 756 DICKENS Place ARMADALE**

designer VISTA DESIGNS

CITY OF ARMADALE

**STRUCTURAL DRAWINGS**

CIVIL STRUCTURAL CONSULTING ENGINEER  
42 Regency Drive Crestwood Estate Thornlie WA 6108  
phone/fax 09 4598800 mobile 015 383 247

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**K.A WILLIAMSON BCE MIEAust CPEng**

STRUCTURAL DRAWINGS INDEX

ref V 70730 - lot 756 DICKENS PLACE ARMADALE

- 1 - DRAINAGE PLAN
- 2 - FOOTING PLAN / PANEL LAYOUT
- 3 - STRIP FOOTING DETAILS
- 4 - PANEL/FLOOR CONNECTION DETAILS
- 5 - WALL ELEVATIONS
- 6 - STANDARD PANEL & PANEL SPECIFICATIONS
- 7 - RAKED PANEL
- 8 - GABLE PANEL
- 9 - GABLE ROLLER DOOR PANEL
- 10 - ROLLER DOOR PANEL
- 11 - PANEL OPENINGS REINFORCEMENT DETAILS
- 12 - PANEL / PANEL CONNECTIONS
- 13 - STEEL FRAMING PLAN
- 14 - MEMBER SCHEDULE
- 15 - STEEL PORTAL DETAILS
- 16 - STEEL BRACING / CONNECTION DETAILS
- 17 - GENERAL SPECIFICATIONS

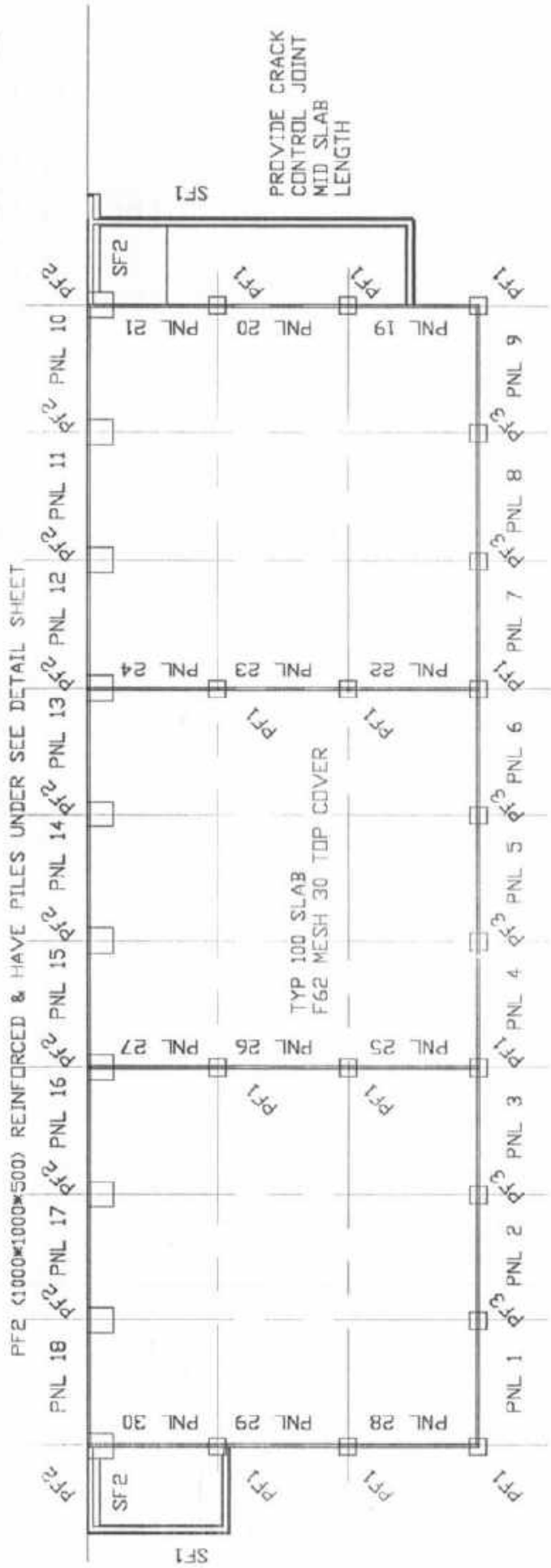
CITY OF ARMADALE

CIVIL STRUCTURAL CONSULTING ENGINEER  
42 Regency Drive Crestwood Estate Thornlie WA 6108  
phone/fax 08 9459 8800 mobile 015 383 247

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K.A WILLIAMSON BCE MIEAust CPEng



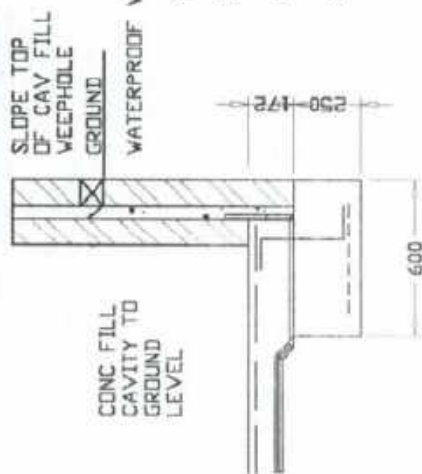


PF1 - 800\*800\*400 MASS CONC CENTRE ON PANELS  
 PF2 - 800\*800\*400 MASS CONC CENTRE ON PANELS  
 STRIP FOOTINGS AS DETAIL SHEET

CITY OF ARMADALE

FOOTING PLAN / WALL PANEL LAYOUT 1:200

KA WILLIAMSON BCE MIEAust CPENG CIVIL/STRUCTURAL CONSULTING ENGINEER 42 Regency Drive Crestwood Estate Trescowthick WA 6108 PHONE 9456 4058800 FAX 9456 61084	CLIENT VISTA DESIGNS 201 SEVENDAKS STREET QUEENS PARK WA 6107 4584995	PROJECT DEVELOPMENT lot 756 DICKENS STREET ARMADALE	DRAWING scale - as shown STRUCTURAL	FILE PLAN 19/08/97 5: PM Ref V 76806 sheet -2 issue -1
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R6 Z BARS AT 600 CTRS  
6 WIRE FB TRENCH MESH  
65 COVER

SF2 - OFFICES STRIP FOOTINGS

AT INTERNAL WALLS  
WITHIN OFFICES  
& FACTORY

SF1 - OFFICES STRIP FOOTINGS

SITE REPORT (BY VISUAL INSPECTION)

CLASSIFICATION TO AS2870: 'S'  
CLAYEY GRAVEL TO 500 DEEP - MAY BE CLAY AT LOWER LEVELS  
BUT NOT LIKELY TO BE ENCOUNTERED  
VEGETATION - GRASS  
REMOVE ANY VEGETATION TOPSOIL ROOTS PEAT OR RUBBISH FROM BUILDING AREA  
MINM FFL AS ARCHTL & TO SUIT COUNCIL/PLUMBER REQUIREMENTS.  
FOOTINGS MAY BE EXCAVATED INTO NATURAL GROUND - 100 MIN SAND UNDER FLOORSLABS  
IF CLAY ENCOUNTERED DURING EXCAVATIONS CONTACT ENGINEER

STRIP FOOTING DETAILS 1:20

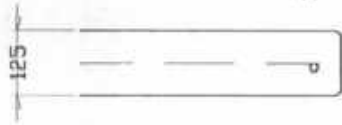
**CITY OF ARMADALE**

PROVIDE TERMITE PRE TREATMENT  
TO COUNCIL REQUIREMENTS

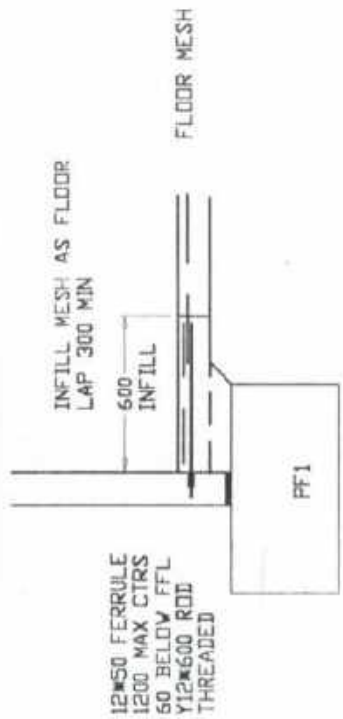
**NOTES:**

1. READ IN CONJUNCTION WITH RELEVANT ARCHITECTURAL DRAWINGS.
2. COMPLY WITH BCA, STATUTORY REQUIREMENTS, & RELEVANT AUSTRALIAN STANDARDS.
3. MINM COMPACTION OF SAND TO 750mm DEPTH OR FULL DEPTH OF SANDFILL - PENETROMETER READING -  
6 BLOWS/300 < 1000 SANDFILL,  
8 BLOWS/300 > 1000 SANDFILL  
MINM SANDPAD APRON 1000mm.
4. CONCRETE SPECIFICATIONS -AS3600 FOOTINGS/SLAB - F'c 20/20/80 REINFORCEMENT GRADES -  
R=GR 250, Y=GR 400, MESH=GR 450.
5. MAINTAIN STRUCTURAL SLAB THICKNESS AT WET AREAS.
6. PROVIDE 1Y12 GRADE/400 BAR # 2000 LONG CENTRE SLAB THICKNESS AT ALL INTERNAL CORNERS.
7. VAPOUR BARRIER - 200um BLACK PVC.
8. SLABS TO BE CURED.
9. NO TRENCHES INTO CLAY NEAR FOOTINGS
10. OWNER TO MAINTAIN SITE AS CSIRO RECOMMENDATIONS SHEET 10/91

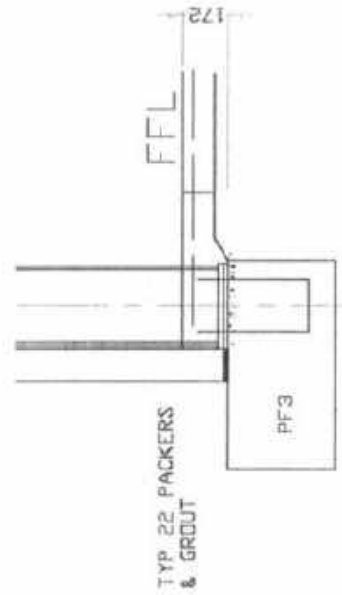
K.A. WILLIAMSON BCE MIE/Asst CP/Eng CIVIL/STRUCTURAL CONSULTING ENGINEER 42 Regency Drive Crestwood Estate Traralgon VA 6108 PHONE/FAX 4558800 MOBILE 011355247	CLIENT VISTA DESIGNS 04/201 SEVENDAKS STREET QUEENS PARK VA 6107 4584992	PROJECT DEVELOPMENT lot 756 DICKENS STREET ARMADALE	DRAWING	FILE STRIP TO
			Scale - AS 3600	20/08/97 9:03 AM
			STRUCTURAL	REF V 70806 Sheet 3 Issue 1



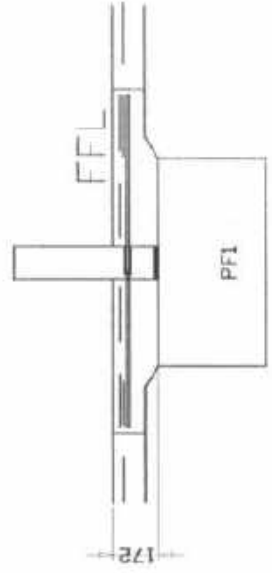
10 CHAMFER TO ALL EXPOSED EDGES



EXTL PANEL FLOOR



COL FOOTING



INTL PANEL FLOOR

PANEL EDGE

DETAIL AS EXTL BOTH SIDES OF WALL ALTERNATE THREADED RODS & FERRULES @ 1200 CTRS

PILES 300dia, 1Y12 CENTRE min 1500 LONG BELOW US FOOTING  
2 PILES PER FOOTING AS PLAN @ 700 CTRS APPROX  
IF ROCK ENCOUNTERED FOUND PILE ON THE ROCK

BDRY FOOTING/PILES 1:20

CITY OF ARMADALE

CONCRETE DETAILS 1:20

K.A WILLIAMSON BCE MIEAust CPENG CIVIL/STRUCTURAL CONSULTING ENGINEER 42 Regency Drive Crestwood Estate Traralgon WA 6108 phone/fax 4598600 mobile 019383347	CLIENT VISTA DESIGNS 201 SEVENDAKS STREET QUEENS PARK WA 6157 4584595	PROJECT DEVELOPMENT Lot 756 TICKENS STREET ARMADALE	DRAWING	File PNLCT1001
			scale - as shown	19/08/97 4:42 PM
STRUCTURAL			ref V 70806	sheet 4

SIDEWALL BOUNDARY

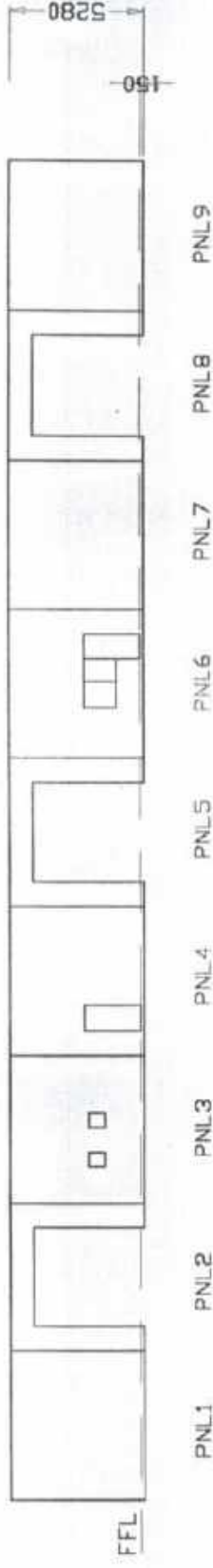
STEEL COL AS PF1

REINF CONC GROUND SLAB FFL

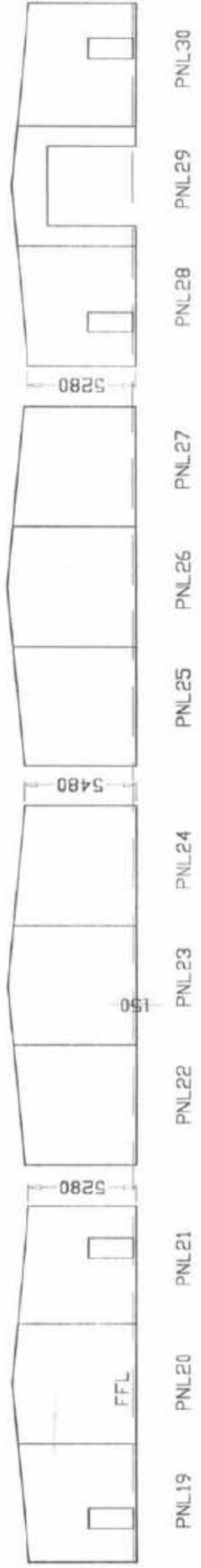
1000x1000x500 FOOTING  
2 LAYERS F82 MESH  
65 COVER

PF2

PANEL



WEST PANELS

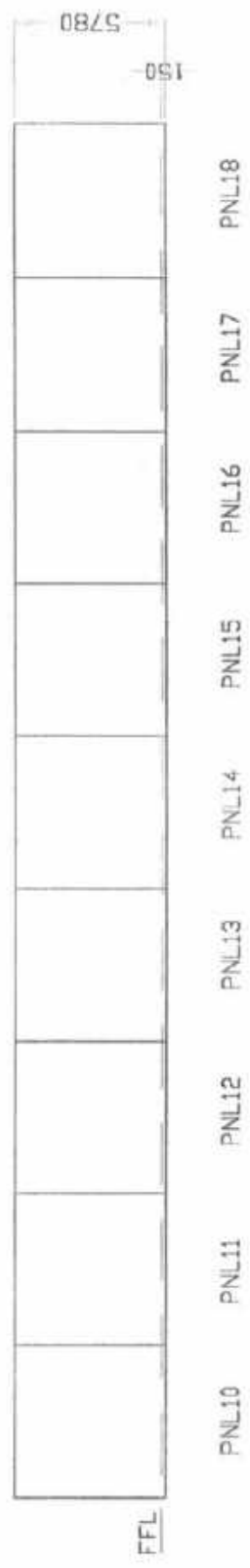


FRONT PANELS

DIVISION PANELS

DIVISION PANELS

REAR PANELS



EAST PANELS

NOMINAL WIDTH OF ALL PANELS 6000  
 USE INTUMESCENT JOINT FILLER TO BOUNDARY PANELS & DIVISION PANELS  
 EXTERNAL PANELS VIEWED FROM OUTSIDE  
 INTERNAL DIVISION PANELS VIEWED FROM STREET

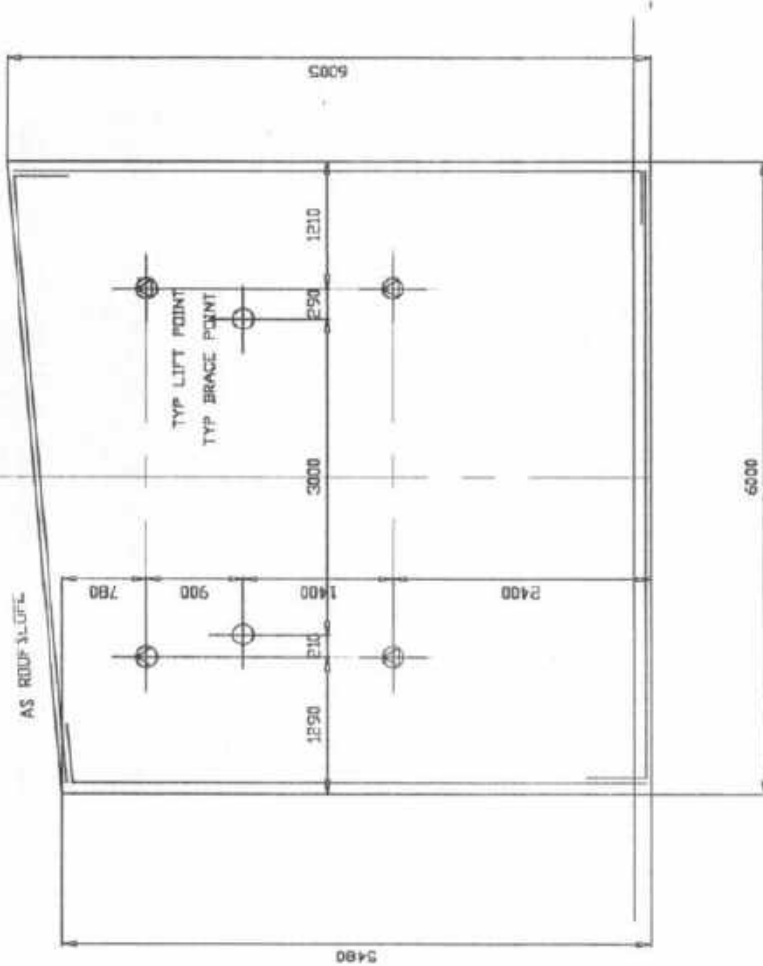
WALL ELEVATIONS 1:200

CITY OF ARMADALE

K.A. WILLIAMSON BCE MIEAust CPEng	CLIENT VISTA DESIGNS 201 SEVENDAKS STREET QUEENS PARK WA 6107 4364555	PROJECT DEVELOPMENT lot 756 DICKENS STREET ARMADALE	DRAWING SS10 = CS DRAWN	File WALLELEV
CIVIL/STRUCTURAL CONSULTING ENGINEER 42 Regency Drive Crestwood Estate Thornlie WA 6106 phone/fax 4558800 mobile 015383247			STRUCTURAL	19/08/97 4:57 PM
				ref V 70806 sheet .5 issue



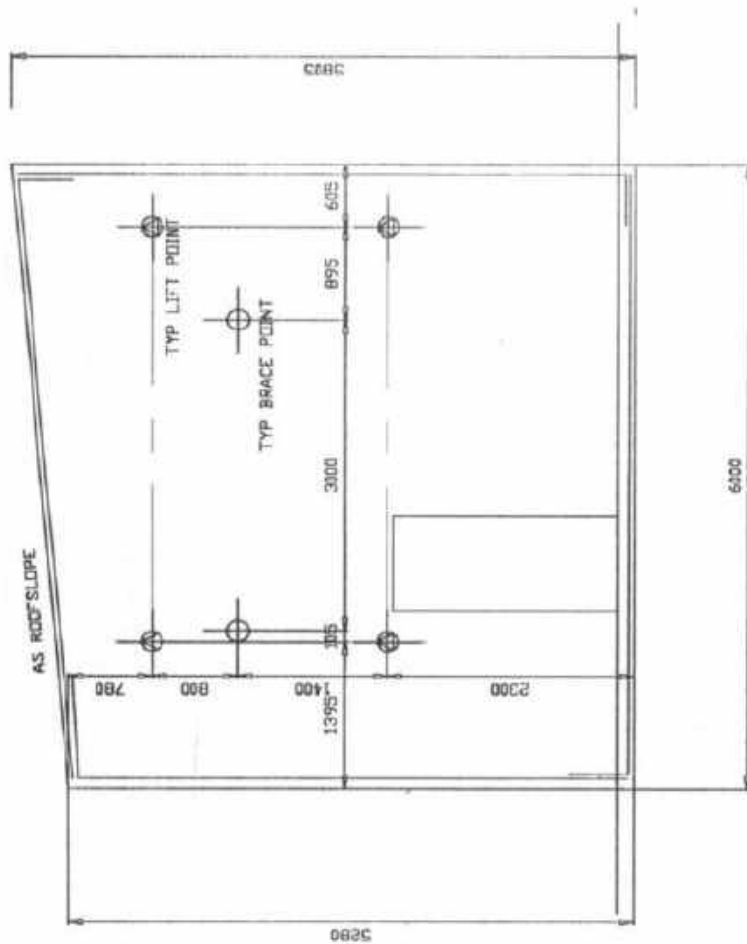
F 82 REINF MESH CENTRE PANEL THICKNESS  
 TYP 1Y16 BAR TO COMPLETE EDGE OF PANEL  
 BELOW MESH - 50 EDGE COVER - LAP 500 MIN



INTERNAL RAKER PANEL

CITY OF ARMADALE

F 82 REINF MESH CENTRE PANEL THICKNESS  
 TYP 1Y16 BAR TO COMPLETE EDGE OF PANEL  
 BELOW MESH - 50 EDGE COVER - LAP 500 MIN



ENDWALL RAKER PANEL

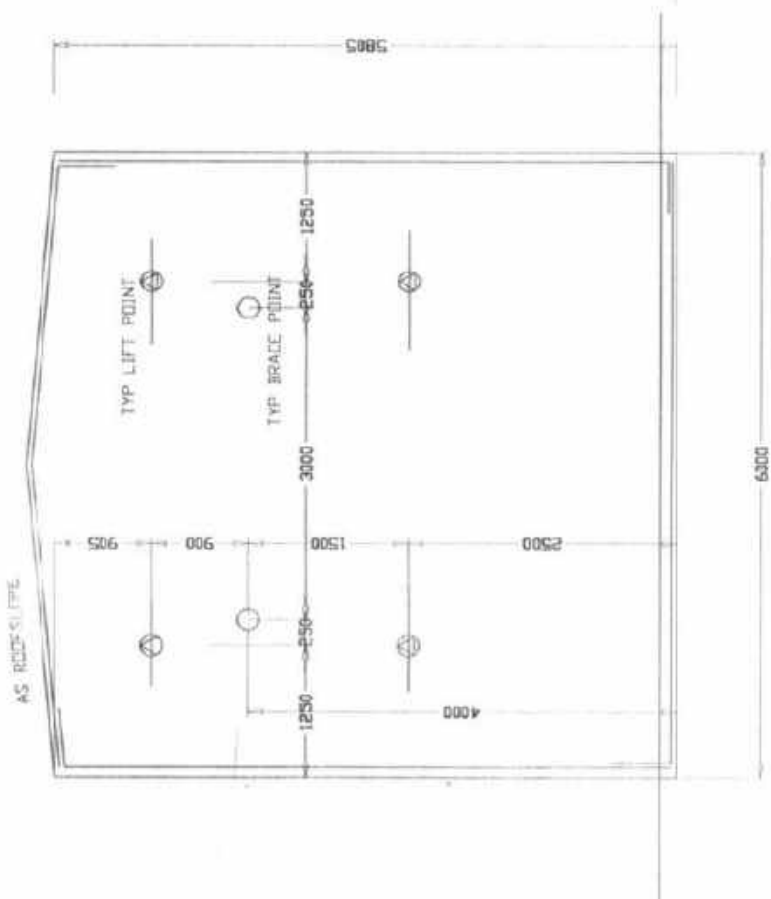
TRIM REINF TO OPENING  
 AS SEPARATE DETAIL

OTHER DETAILS AS STANDARD PANEL  
 NOMINAL DIMENSIONS - DETAILER TO ALLOW JOINTS ETC  
 LIFTING ARRANGEMENTS TO BE FINALIZED BY SPECIALIST LIFTING CONTRACTOR

RAKER PANEL SHAPES 1:50

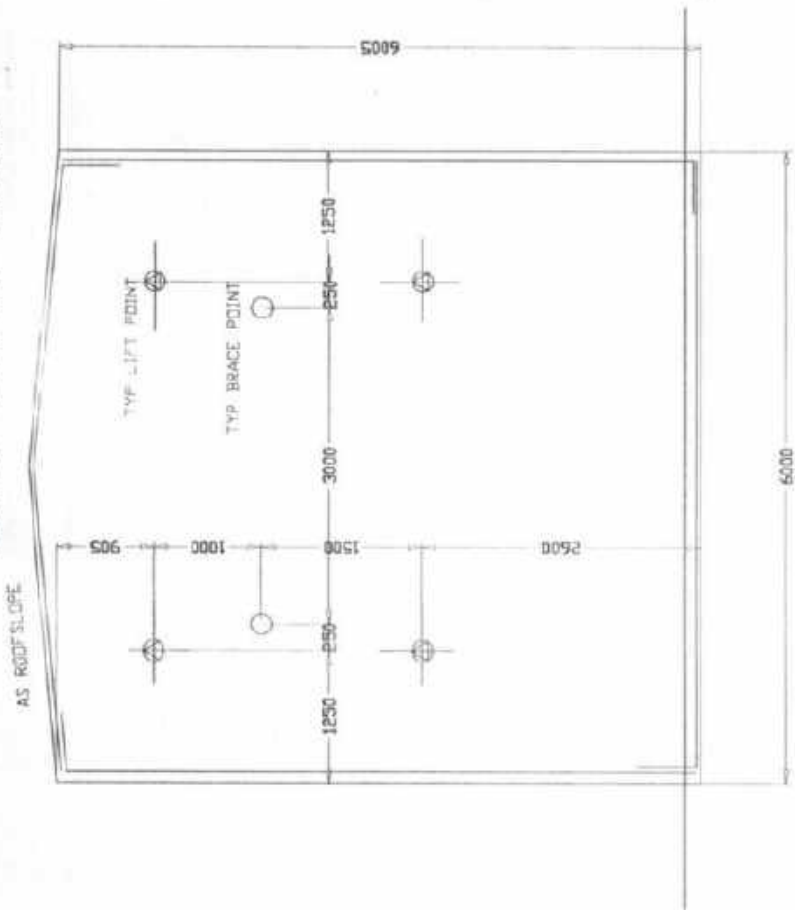
K.A WILLIAMSON BCE MIE Aust CP Eng		CLIENT	VISTA DESIGNS 114/201 SEVENTH AVE QUEENSLAND PARK WA 6107 4584555
CIVIL/STRUCTURAL CONSULTING ENGINEER 42 Regency Drive Crestwood Estate Truganina WA 6108 phone/fax: 4598800 mobile 013363247		PROJECT	DEVELOPMENT lot 756 DICKENS STREET ARMADALE
DRAWING		scale - as shown	20/08/97 11:5 AM
STRUCTURAL		sheet	ref V 70806 7
		issue	

F 80 REINF MESH CENTRE PANEL THICKNESS  
 TYP 1Y16 BAR TO COMPLETE EDGE OF PANEL  
 BELOW MESH - 50 EDGE COVER - LAP 500 MIN



ENDWALL GABLE PANEL

F 80 REINF MESH CENTRE PANEL THICKNESS  
 TYP 1Y16 BAR TO COMPLETE EDGE OF PANEL  
 BELOW MESH - 50 EDGE COVER - LAP 500 MIN



INTERNAL GABLE PANEL

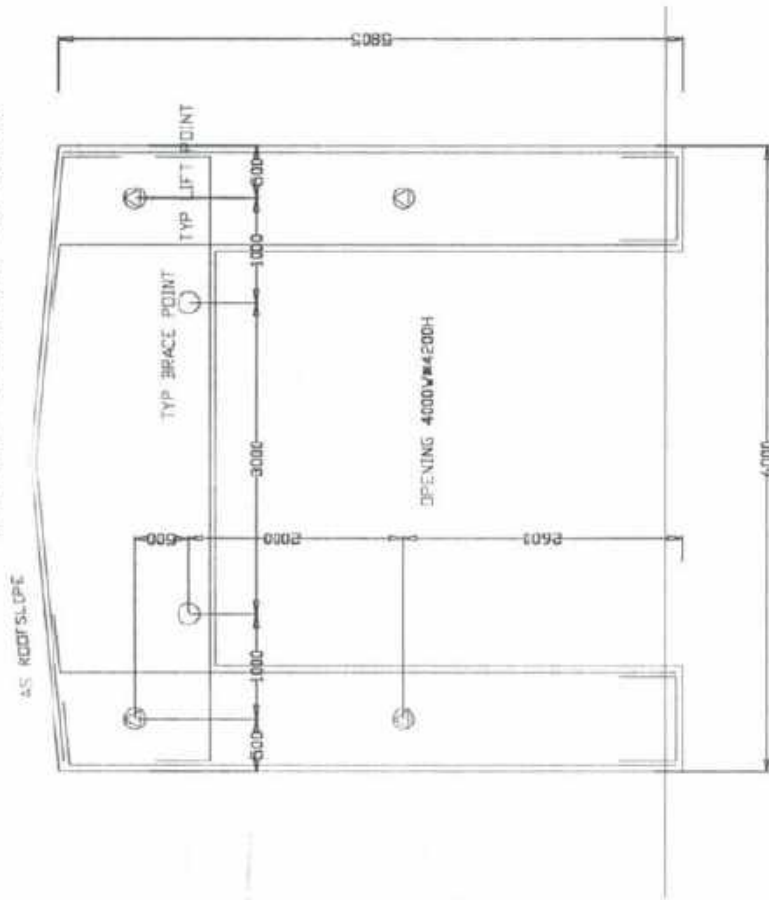
OTHER DETAILS AS STANDARD PANEL  
 NOMINAL DIMENSIONS - DETAILER TO ALLOW JOINTS ETC  
 LIFTING ARRANGEMENTS TO BE FINALIZED BY SPECIALIST LIFTING CONTRACTOR

GABLE PANEL SHAPES 1:50

CITY OF ARMADALE

K.A. WILLIAMSON BCE MIEAust CPENG CIVIL/STRUCTURAL CONSULTING ENGINEER 4B Regency Drive, Cranwood Estate Traralgon, VA 6100 Phone/Fax: 4588800 mobile 015363247	CLIENT VISTA DESIGNS 114/201 SEVENDAKS STREET GLENS PARK WA 6107 4584955	PROJECT DEVELOPMENT Lot 756 BICKENS STREET ARMADALE	DRAWING	file PNLGBL
			scale - as shown	20/08/97 1:28 PM
		STRUCTURAL	ref V 70806	sheet 8
				issue 1

F88 REINF MESH CENTRE PANEL THICKNESS  
 TYP 1/2" BAR TO COMPLETE EDGE OF PANEL  
 BELOW MESH - 30 EDGE COVER - LAP 300 MIN



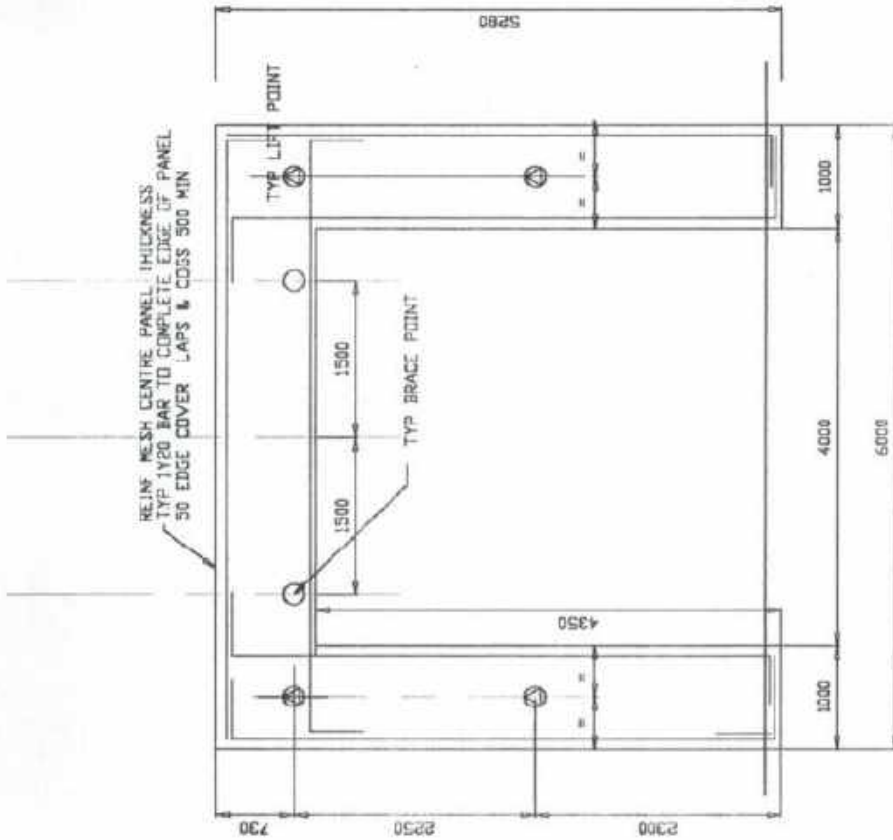
TRIM REINF TO OPENING 1/2" VERT BARS BELOW MESH HZTL BARS ABOVE MESH

OTHER DETAILS AS STANDARD PANEL  
 NOMINAL DIMENSIONS - DETAILER TO ALLOW JOINTS ETC  
 STIFFEN LEGS WITH STRUTBARS FOR LIFT  
 LIFTING ARRANGEMENTS TO BE FINALIZED BY SPECIALIST LIFTING CONTRACTOR

REAR GABLE ROLLER DOOR PANEL 1:50

CITY OF ARMADALE

K.A WILLIAMSON BCE MIEAUST CIVIL/STRUCTURAL CONSULTING ENGINEER 42 Regency Drive Crestwood Estate Traralgon WA 6108 Phone/Fax 4588800 Mobile 015483247	CLIENT VISTA DESIGNS U4/201 SEVENDAKS STREET QUEENS PARK WA 6107 4584995	PROJECT DEVELOPMENT lot 756 DICKENS STREET ARMADALE	DRAWING scale - as shown STRUCTURAL	file PNL5BRD 20/08/97 3:35 PM ref V 70806 sheet 9 issue 1
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**ROLLER DOOR PANEL 1:50**

OTHER DETAILS AS STANDARD PANEL

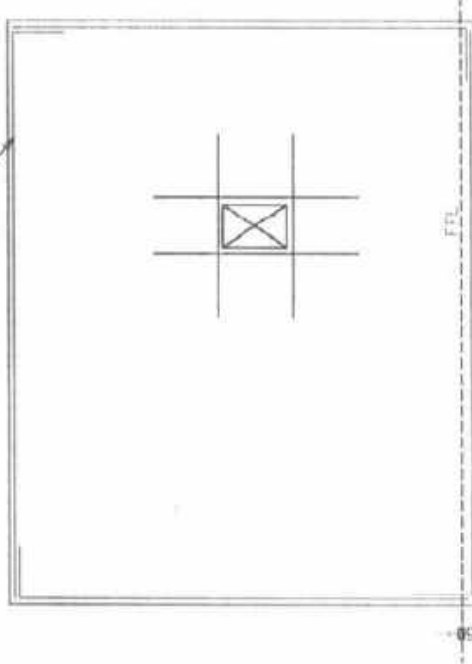
READ IN CONJUNCTION WITH PANEL SPECIFICATIONS  
STRUCTURAL PANEL CONNECTIONS AS DETAIL DRGS  
FERRULES ANCHORED BY 300 LONG CROSSBAR

LIFTING ARRANGEMENTS TO BE REASSESSED BY SPECIALIST LIFTING CONTRACTOR

CITY OF ARMADALE

K.A. WILLIAMSON BCE MIEAUST CPENG CIVIL/STRUCTURAL CONSULTING ENGINEER 42 Regency Drive Crestwood Estate Thornlie WA 6108 phone/fax 4598800 mobile 0153683247	CLIENT VISTA DESIGNS U4/201 SEVENLAKS STREET GREENS PARK WA 6107 4564955	PROJECT DEVELOPMENT Lot 756 DICKENS STREET ARMADALE	DRAWING scale - as shown	FILE NUMBER 20/08/97 4:04 PM
			STRUCTURAL	ref V 70806 sheet 10 issue 1

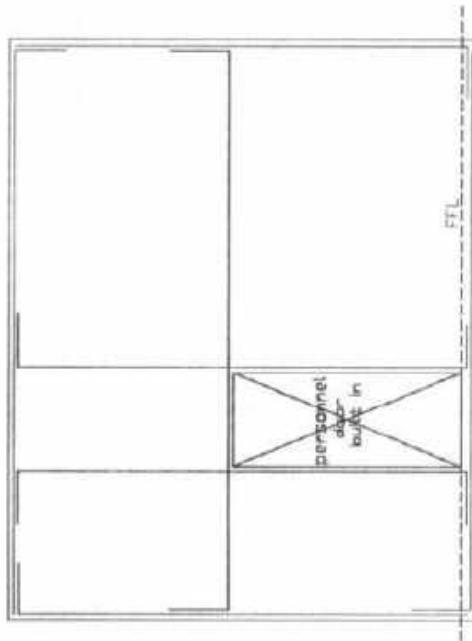
TYP EDGE BARS AS STANDARD PANEL



TRIMMER BARS EACH 1Y16  
 VERT BARS UNDER MESH - HZTL BARS OVER MESH  
 EXTEND BARS 600 PAST OPENINGS  
 DETAILS NOT SHOWN AS STANDARD OR ACTUAL PANEL

TO SMALL ISOLATED OPENING  
 TYP VC WINDOWS

CITY OF ARMADALE



TRIMMER BARS EACH 1Y20  
 VERT BARS UNDER MESH - HZTL BARS OVER MESH  
 COGS 300 min  
 DETAILS NOT SHOWN AS STANDARD OR ACTUAL PANEL

TO PERSONNEL DOORS

APPLY AS REQUIRED IN PARTICULAR PANELS

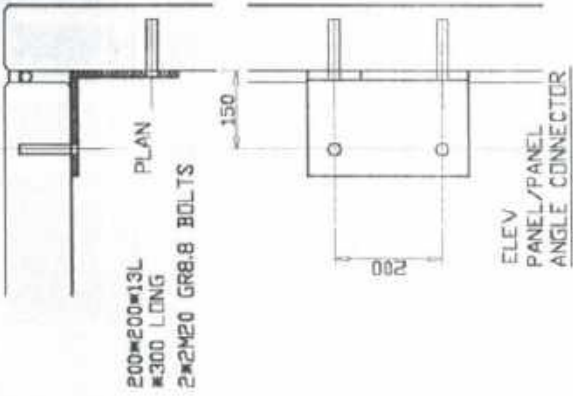
TYP TRIM REINF TO OPENINGS

K.A WILLIAMSON BCE MIEAUST CPENG	CLIENT	VISTA DESIGNS U47201 SEVENDAKS STREET QUEENS PARK VA 6107 4564795E	PROJECT	DEVELOPMENT lot 756 DICKENS STREET ARMADALE	DRAWING	file - PNLTRIM 12/08/97 1:03 PM
CIVIL/STRUCTURAL CONSULTING ENGINEER 4E Regency Drive Crestwood Estate Traralgon VA 6108 phone 4598800 mobile 0153866247					scale - as shown	ref V 70806 sheet 31 ISSUE
					STRUCTURAL	

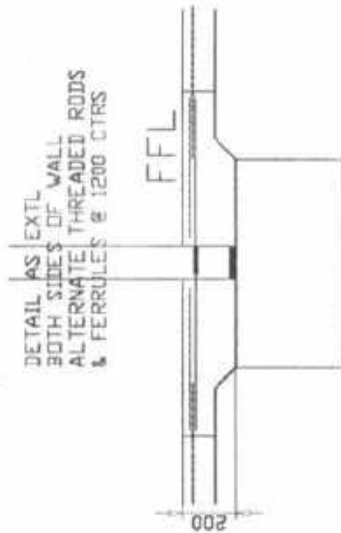


ENDWALL DETAILS

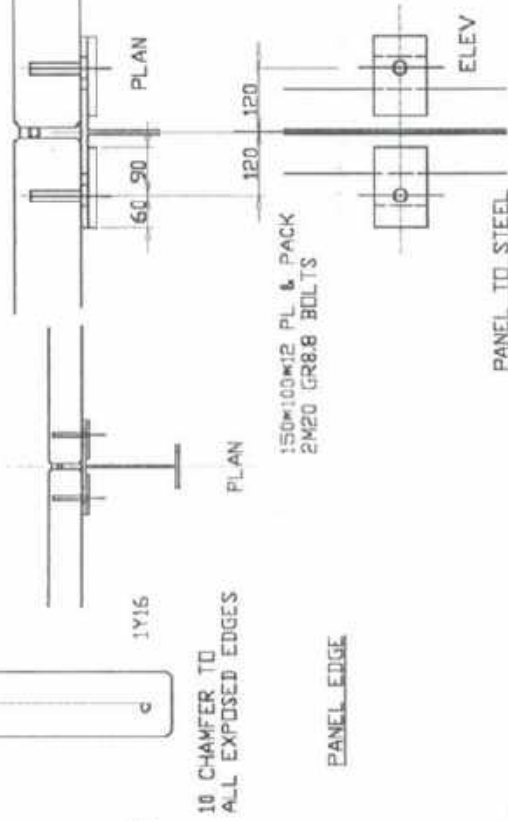
INTERNAL FIREWALL DETAILS



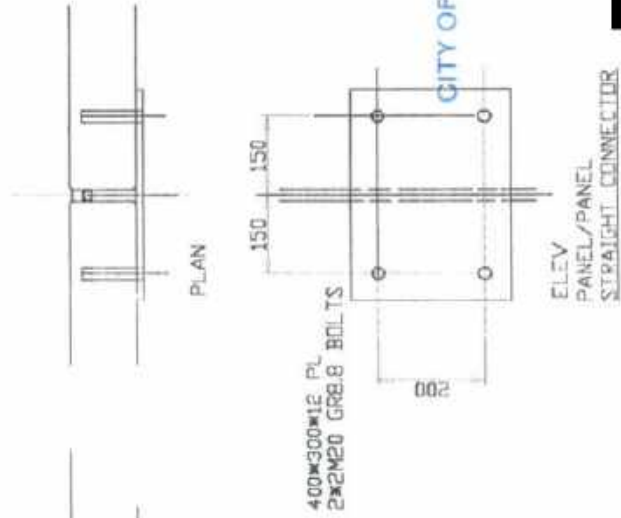
TYP PANEL GAP 20  
 2HR INTUMESCENT FILLER  
 TO BOUNDARY & FIREWALLS  
 TYP EDGE CHAMFER 10 mm  
 ALL PANELS TO HAVE CONNECTORS  
 AT MID HEIGHT &  
 WITHIN 1m OF TOP



INTL PANEL FLOOR



PANEL TO STEEL



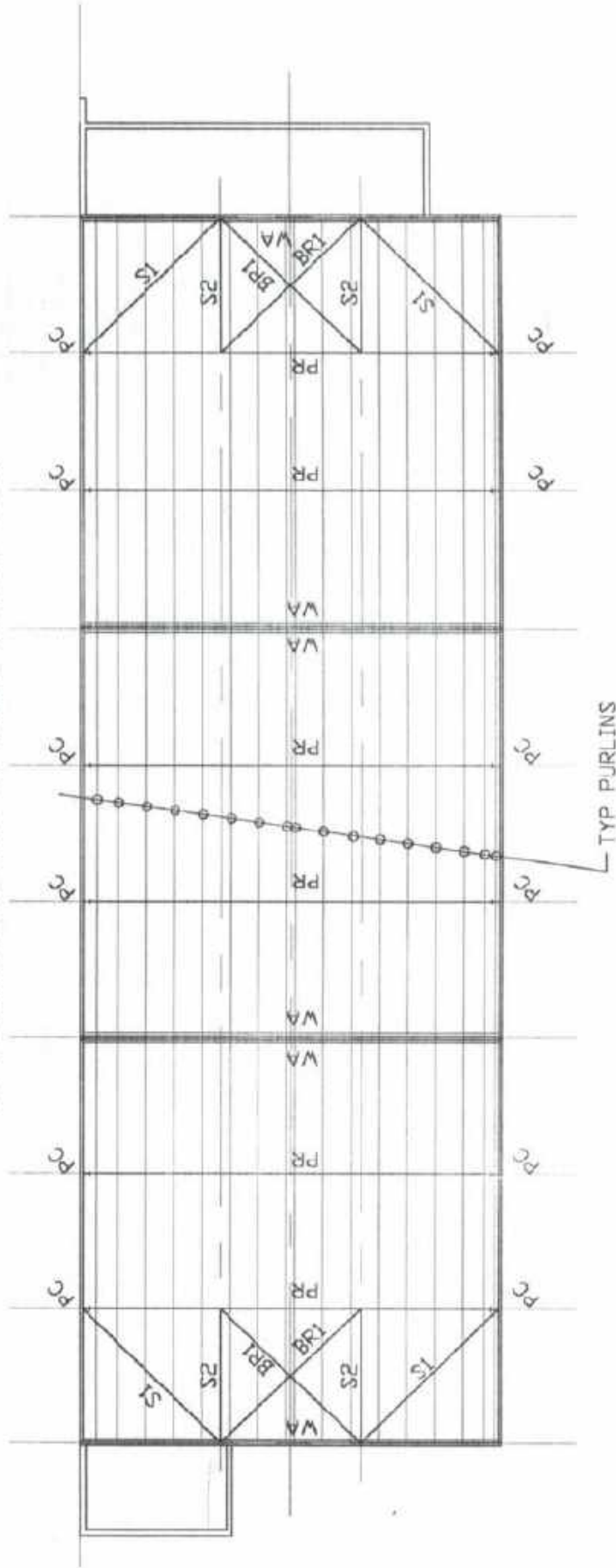
ELEV PANEL/PANEL STRAIGHT CONNECTOR

PANEL CONNECTIONS 1:20 UND

CITY OF ARMADALE

K.A WILLIAMSON BCE MICAUST OPENG CIVIL/STRUCTURAL CONSULTING ENGINEER 42 Regency Drive Grestwood Estate Thornlie WA 6108 phone/fax 4598600 mobile 015363247	VISTA DESIGNS U4/201 SEVENAKS STREET QUEENS PARK WA 6107 4584590	DEVELOPMENT lot 756 DICKENS STREET ARMADALE	DRAWING scale - as shown STRUCTURAL	File PNLCONN 20/08/97 4:27 PM ref V 70806 sheet -12 ISSUED
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SHEETING CUSTOM DRB 900 ENDSPANS 1200 INTERNAL SPANS  
 TYP PURLINS 150Z12 GR500 LAP 1BRACE TO MANUF SPECS



MEMBER SIZES AS MEMBER SCHEDULE  
 OFFICE ROOFS TRUSSES AS ARCHTL DWGS  
 PLAN STEEL FRAMING 1:200

CITY OF ARMADALE

K.A. WILLIAMSON CIVIL/STRUCTURAL CONSULTING ENGINEER 42 Regency Drive Thornlie, WA 6108 phone/fax 4558800 mobile 015362247	BCE MIEAUST CPENG	CLIENT VISTA DESIGNS 201 SEVENDAKS STREET QUEENS PARK VA 6107 4584995	PROJECT DEVELOPMENT 101 756 DICKENS STREET ARMADALE	DRAWING scale - as shown	FILE PLAN 20/08/97 4:59 PM ref V 70806 sheet 13 issue
				STRUCTURAL	

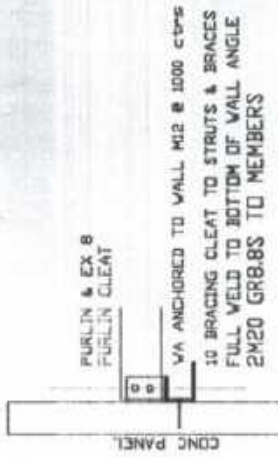
MEMBER SCHEDULE			
MK	SECTION	GRADE	LOCATION/REMARKS
PC	310UB40	300	PORTAL COLUMN mid ht web cleat
PR	200U22	300	PORTAL RAFTER
fb	50*50*3 L	250	FLYBRACES
S1	88.9*3.2 CHS	250	WIND STRUT
S2	76*3.2 CHS	250	WIND STRUT
BR1	65*50*5L	250	WIND BRACE 1M12 INTERSECTION
WA	100*100*BL	300	WALL ANGLE
P	150Z12	500	PURLINS LAPPED -- 1 BRACE

GENERAL SPECIFICATION - APPLY AS APPROPRIATE  
 SAG TIE STRUTS & BRACES TO PURLINS  
 STD CONNECTION UND - 10 CLEAT, 6CFW/FS BUTT WELD, 2M20 GR8.8S BOLTS  
 USE FABRICATED 'T' CLEAT CONNECTORS TO TUBES  
 TOP OF ALL BEAMS SAME LEVEL UND  
 BRACING PLANE MID DEPTH OF RAFTERS UND

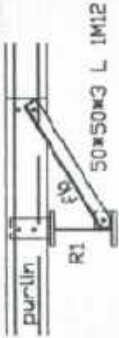
CITY OF ARMADALE

K.A. WILLIAMSON CIVIL/STRUCTURAL CONSULTING ENGINEER 42 Regency Drive Prestwood Estate Traralgon VA 5108 Phone/Fax 4598860 mobile 0153885517	BCE MIEAUST CPENG	CLIENT VISTA DESIGNS U4/201 SEVENDAKS STREET DUFENS PARK VA 6107 4564955	PROJECT DEVELOPMENT lot 756 DICKENS STREET ARMADALE	DRAWING SCALE - AS SHOWN STRUCTURAL	FILE MEMSCH 20/08/97 10:42 PM ref V 70806 sheet 14 ISSUE 1
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ROOF STRUT CONNCTN  
AT WALL ANGLE



TYP FLYBRACE DETAILS 1:20  
OPTIONAL BOTH SIDES BEAM

EX 10 T CLEAT  
FULLY WELD  
2M20 GR 8.8S BOLTS



TYP TUBE ENDS 1:20



BRACE CONNCTN TO RAFTER 1:20

TYP STEEL DETAILS 1:20

BRACING 100 mm BELOW TOP OF STEEL

CITY OF ARMADALE

KA WILLIAMSEN BCE MIEAUST CPENG	CLIENT	PROJECT	DRAWING	File: STEEL
CIVIL/STRUCTURAL CONSULTING ENGINEER	VISTA DESIGNS	DEVELOPMENT	SCALE - AS SHOWN	20/08/97 11:15 PM
4B Regency Drive Crestwood Estate	14/201 SEVENDAKS STREET	lot 756 DICKENS STREET	STRUCTURAL	REF V 70906
Armadale WA 6108	QUEENS PARK WA 6107	ARMADALE		sheet 16
5052g/fax 4598800 mobile 015383247	4584955			issue

**GENERAL SPECIFICATIONS.**

READ THIS DRAWING IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS. COMPLY WITH STATUTORY REQUIREMENTS & RELEVANT AUSTRALIAN STANDARDS. SITE CHECK ALL DIMENSIONS - VERIFY DISCREPANCIES BEFORE PROCEEDING.

**SITE**

CLASSIFICATION TO ASP870 -  
 COMPACT THE COMPLETE DEPTH OF ANY SANDFILL &/OR THE NATURAL SAND FOR 600mm MIN BELOW ANY CONCRETE TO - A MIN PENETROMETER READING OF -  
 1 STOREY over 1M FILL 6 BLDVS/300  
 1 STOREY over 1M FILL 8 BLDVS/300  
 2 OR MORE STOREY 8 BLDVS/300  
 OVER 2M SANDFILL 10 BLDVS/300  
 DESIGN ULT FOUNDATION PRESS 200 KPa

**CONCRETE** to AS3610

RESIDENTIAL OTHER  
 GRADE 5% GRADE cement 5%  
 FOOTING N20 20 B1 525 20 80 A 270  
 GRDSLAB N20 20 B1 525 20 80 A 270  
 SSPSLAB N25 20 B1 452 20 80 A 290  
 CAVTILL N20 10 100 N25 10 100 A 270  
 BALCONY N32 20 80 532 20 80 A 250  
 ALL FORMED & SUSPENDED CONCRETE TO BE VIBRATED.  
 CURE ALL CONCRETE 7 DAYS.  
 CONCRETE TO BE SUPPLIED BY A RECOGNIZED PREMIXING COMPANY.  
 SEAL TOP SURFACE BALCONIES

**REINFORCEMENT**

**BARBS**  
 R = GRADE 250 ROUNDS TO AS1302  
 Y = GRADE 400 DEFORMED TO AS1302  
 W = GRADE 450 HARD DRAWN TO AS1303  
 F = GRADE 450 WELDMESH TO AS1304  
 RESTEEL TO BE CLEAN & RUST FREE.  
 LAP BARS 300mm & MESH 1 PITCH UNO

**COVER** RESIDENTIAL OTHER  
 FOOTING 40mm INTL EXTL  
 GRDSLAB 30mm TOP 30mm 30mm TOP  
 COL BEAM 20mm 30mm  
 SUSPSLAB 20mm 20mm 40mm  
 BALCONY-top 40mm

**RETAINING WALLS**

MASS MASONRY COMPLETELY FILL ALL JOINTS WITH MORTAR.  
 CAVITY FILL MASONRY BUILD & FILL IN 600mm LIFTS.  
 TIE LEAVES WITH HEAVY DUTY TIES @ 4c CTRS VERT & 450 CTRS HZTL COMPLETELY FILL CAVITY WITH CONCRETE AS SPECS  
 BACKFILL WITH CLEAN SAND LIGHTLY COMPACTED  
 BACKFILL TO DRAIN FREELY  
 DO NOT BACKFILL UNTIL WALLS ARE 7 DAYS OLD  
 WALLS TIED TO SLABS AT TOP TO BE PROPPED DURING BACKFILL  
 & UNTIL THE SLABS are 5days OLD

MASONRY to AS3700  
 COMP STRENGTH UNITS to be P<sub>uc</sub> 15MPa min for LOADBEARING WALLS or PERS  
 MORTAR to be 1:1:6  
 FOR RET WALLS & REINF MASONRY MORTAR to be 1:1/4:3  
 NO HZTL or DIAGONAL CHASING of LOADBEARING MASONRY

LIMBER to AS1684 & AS1720  
 ALL TIMBER GRADE FB min UNO  
 MIN STRUCTURAL CONNECTN 2M12 BOLTS  
 ALL CONNECTORS GALVANIZED

**SUSPENDED SLABS**

SUPPORT SUSPENDED SLABS 28 days SOFFIT FORMS MAY BE STRIPPED AFTER 7 DAYS PROVIDED SLABS BACK PROPPED SEPARATE CONCRETE FROM SUPPORTING MASONRY WITH PGI OR SIM BOND BREAKER PACK BESIDE BEAM WEBS & 18mm FILLER ALL CONDUITS TO BE IMMEDIATELY OVER BOTTOM STEEL MAT  
 REINFORCEMENT KEY UT LT

DIST REINF UNO  
 TOP MAT Y1284510UTorLT UB  
 BOT MAT Y128200UBorLB LB

DESIGN LOADINGS to AS1170  
 WIND CAT 3  
 FLOORLOAD 3 KPa

**STEELWORK**

STEELWORK TO COMPLY WITH AS4100 OR AS1250 WELDING TO COMPLY WITH AS1554 MEMBER JOINTS TO DEVELOP FULL STRENGTH UNLESS DETAILED MIN WELD GCFV UNO MIN BOLT M20 GR 4.6 UNO

MIN MEMBER CONNECTIONS - STD CONNECTN - 10 CLEAR GCFV 2M20 OR 4.6 BOLTS UNO ALL BOLTS NUTS WASHERS GALVANIZED OR CADMIUM PLATED HOLD DOWN BOLTS CAGED & GALVANIZED TEMPORARILY BRACE STEELWORK IF REQUIRED SEAL ENDS OF HOLLOW SECTIONS & PROVIDE BLOWHOLES FOR GALV SECTIONS

**TREATMENT**

INTERNAL - CLASS 1 BLAST 36 MICRON ZINC PHOSPHATE PRIMER  
 EXTERNAL - CLASS 2.5 BLAST 75 MICRON INORGANIC ZINC SILICATE WITH 77% DRY FILM ZINC TO AS2105 TYPE 4 FOR GROUND CONTACT AND 2 COATS BITUMEN PAINT / 150 ABOVE GL  
 TIE STEEL TO ANY ADJACENT BRWK AT 6c CTRS WITH TIES/STRAPE SAG TIE SLENDER MEMBERS TO PURLINS WHERE AVAILABLE PROVIDE THREADS & TENSION RINGS TO RODS IMR BOLT THROUGH CROSS BRACES AT INTERSECTIONS

**LINTELS**

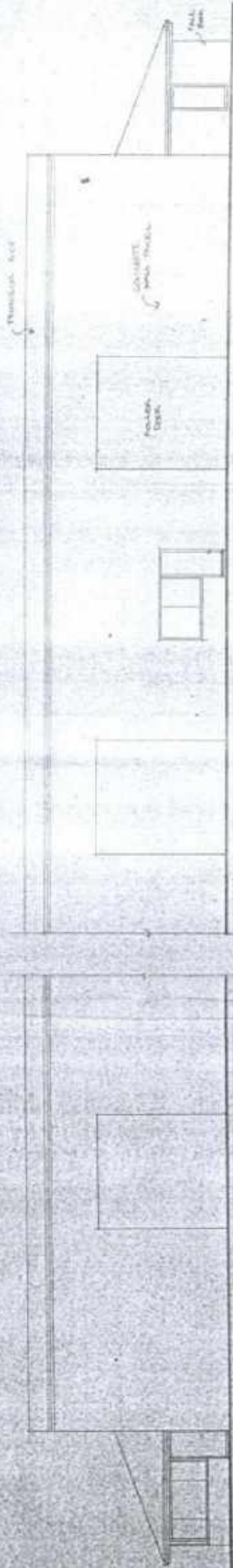
SPAN TO	MAX. W. W. H.
1200	75 * 75 * 6
1800	100 * 75 * 6
2400	125 * 75 * 6
2700	125 * 75 * 8
3000	150 * 90 * 8
3600	150 * 90 * 10
4000	150 * 90 * 12

LONG LEG VERTICAL

APPLY GENERAL SPECS AS APPLICABLE TO WORK IN HAND ALL WORK TO COMPLY WITH EXISTENT SECTIONS OF CURRENT BUILDING CODES OF AUSTRALIA. TECHNICAL REFERRANCES TO BE PROVIDED TO COUNCIL REQUIREMENTS.

CITY OF ARMADALE

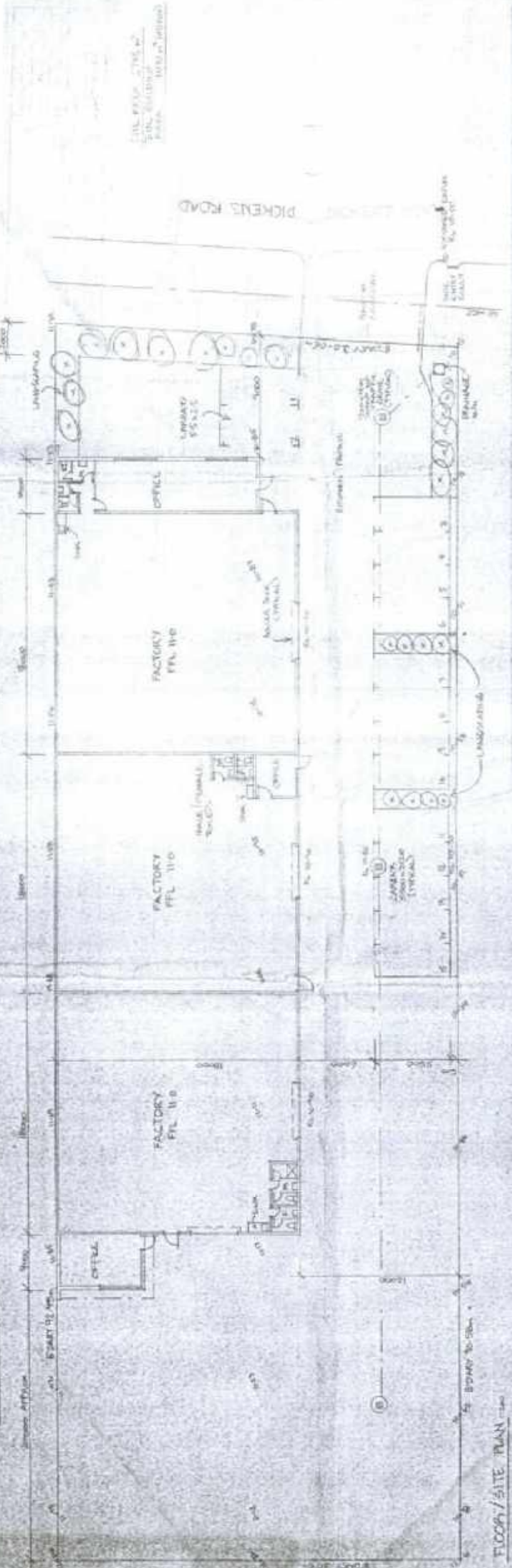
K.A WILLIAMSON BCE MIEAust CPENG	CLIENT	PROJECT	DRAWING
CIVIL/STRUCTURAL CONSULTING ENGINEER 42 Regency Drive Crestwood Estate Thornlie WA 6108 phone/fax 4598800 mobile 015383247	MSPA PERIOD	DEVELOPMENT lot 756 DICHEUR ARMADALE.	scale - as shown
			date 11-08-97
			ref V 70730
			sheet 17
			issue 1
			STRUCTURAL



SIDE ELEVATION

FRONT ELEVATION

PLANNING DEPT.  
 CONDITIONALLY APPROVED PLAN  
 P.L. 22, 23, 24 of 20-0-07  
 (Dated)



FLOOR/SITE PLAN

**VISTA DESIGNS**  
 ARCHITECTURAL DRAFTING  
 & DESIGN SERVICE

DATE: 10/11/10  
 DRAWING NO: 10/11/10  
 SHEET NO: 1 OF 1

PROPOSED DEVELOPMENT AT  
 LOT 106, DICKENS PLACE  
 ARMADALE



4305 Franklin  
Landing



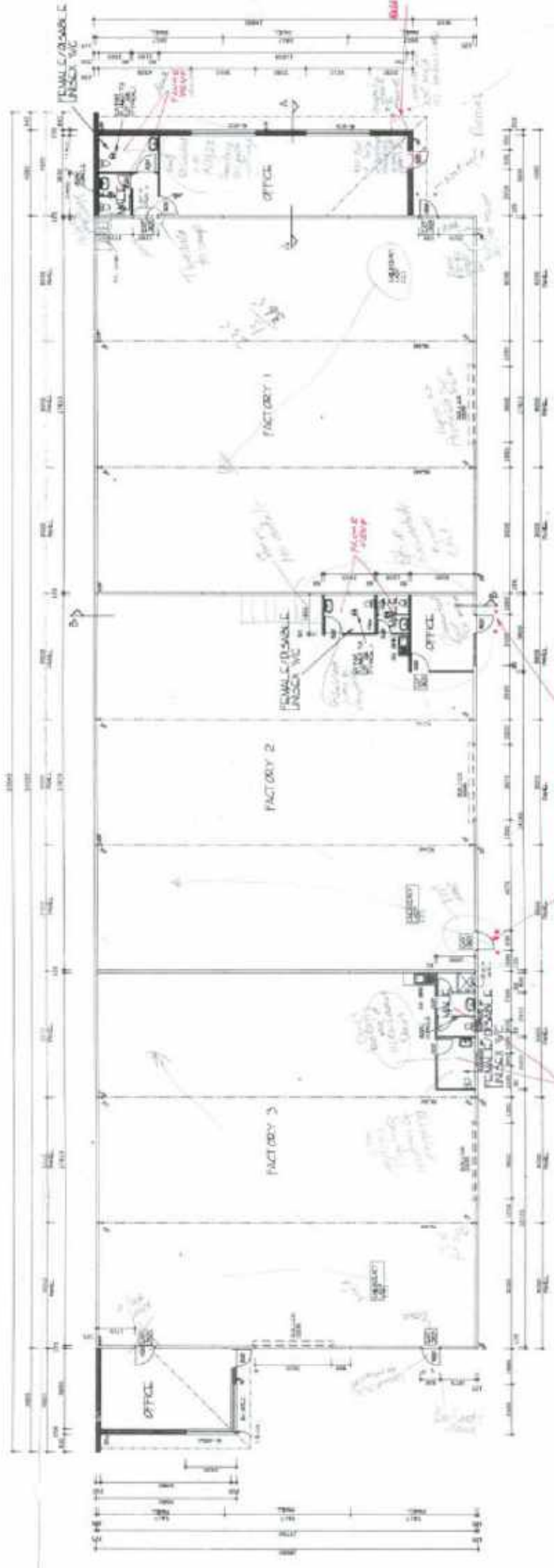
SIDE ELEVATION

FRONT ELEVATION

REAR ELEVATION

CITY OF AMMANLATH  
 PLANNING DEPARTMENT  
 1000 S. 10TH AVE. SUITE 100  
 AMMAN, ARIZONA 85212  
 PHONE: (602) 994-1100  
 FAX: (602) 994-1101  
 WWW.CITYOFAMMANLATH.ORG

CITY OF AMMANLATH



DATE: 08/17/2011  
 DRAWN BY: J. D. BROWN  
 CHECKED BY: J. D. BROWN  
 SCALE: AS SHOWN

FLOOR PLAN

NOTE: ADDRESS SHOWN AS 4305 FRANKLIN LANDING  
 AS SHOWN ON A.P.C. #1  
 PLEASE PROVIDE THIS INFORMATION  
 AS SHOWN ON A.P.C. #1

VISTA DESIGNS  
 Architectural Drafting  
 Design Services  
 11111 N. 19TH AVE.  
 SUITE 100  
 AMMAN, ARIZONA 85212  
 PHONE: (602) 994-1100  
 FAX: (602) 994-1101  
 WWW.VISTADIGNS.COM

PROJECT: PROPOSED FACTORY  
 LOT 706 DEGENS PLACE  
 AMMANLATH

DATE: 08/17/2011  
 DRAWN BY: J. D. BROWN  
 CHECKED BY: J. D. BROWN  
 SCALE: AS SHOWN





LEGEND:  SITE BOUNDARY

PRELIMINARY ONLY  
NOT FOR CONSTRUCTION



**1** PLAN - SITE LAYOUT  
SCALE 1:500

Drawn As	Shawn	# of	Date	08.07.2025
Drawn AS	Daniel	AB	Approved CP	
Job No.	TW25040	W-100	Rev	A
Author	TW250400			

SITE LAYOUT

ARMADALE TYRE RECYCLING PLANT

NO.	DATE	BY	DESCRIPTION / REVISION

**NOTES**

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- DO NOT SCALE. Use figured dimensions only. If it does appear correct take consistent.
- Works on this drawing is intended to be in accordance with the relevant Australian Standards. Please refer to the relevant standards for more details.

TYRE RECYCLING PERTH PTY LTD



SURVEY REFERENCE ABCD DATE DD.MM.YYYY  
VERTICAL DATUM AUSTRALIAN HEIGHT DATUM  
HORIZONTAL DATUM MGA 2020 ZONE 58



SURVEY REFERENCE ABCD DATE DD.MM.YYYY  
 VERTICAL DATUM AUSTRALIAN HEIGHT DATUM  
 HORIZONTAL DATUM MGA 2020 ZONE 58

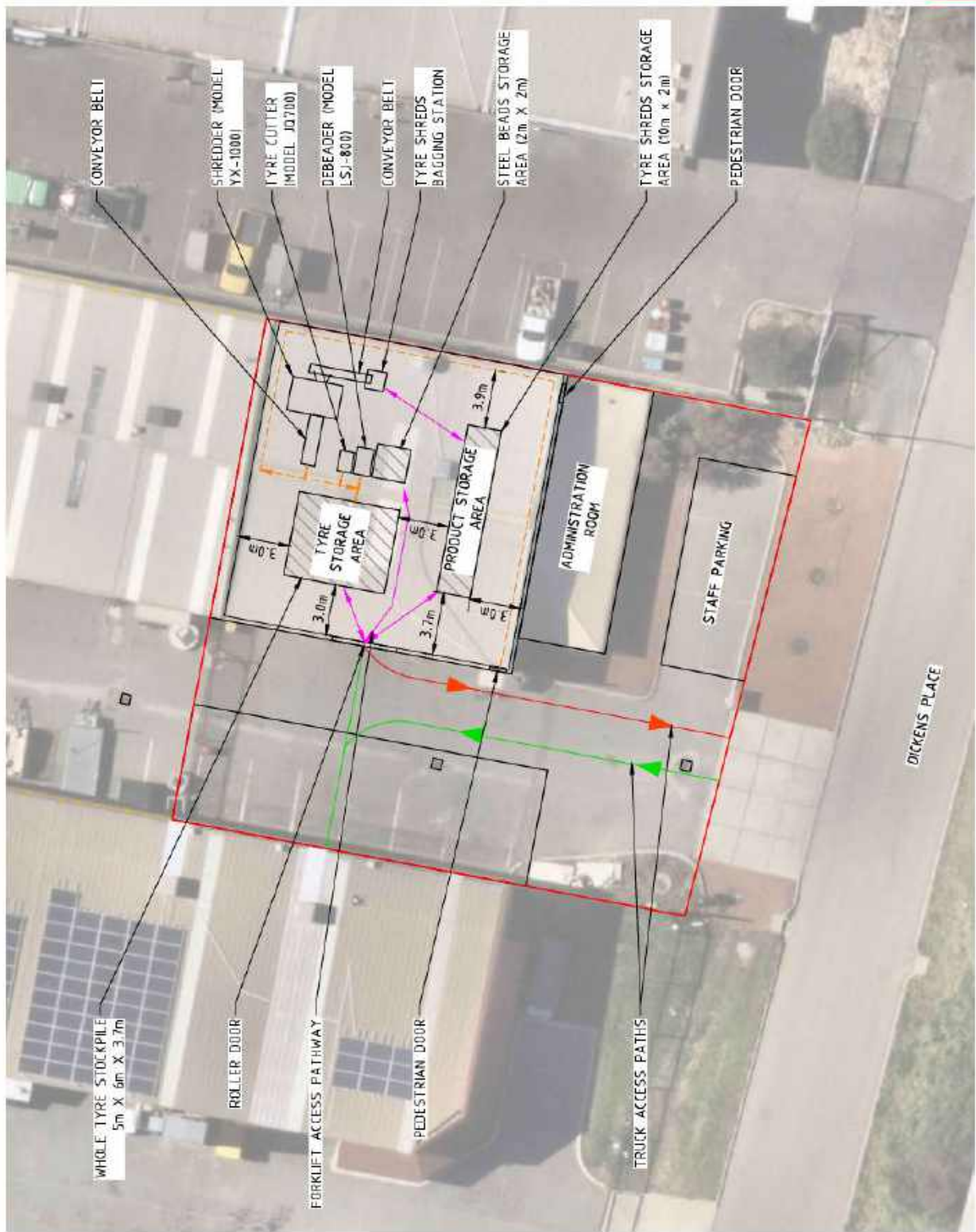


TYRE RECYCLING PERTH PTY LTD

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3. Works on this drawing is intended to be in accordance with the Australian Standards. Please refer to the relevant standards for further details.

1 PLAN - BUILDING LAYOUT  
 SCALE 1:250



- LEGEND:
- SITE BOUNDARY
  - WALLS
  - TRUCK ACCESS PATHS
  - FORKLIFT ACCESS PATHWAYS
  - OPERATOR ACCESS PATHWAY

PRELIMINARY ONLY  
 NOT FOR CONSTRUCTION



Drawn As Shown	Drawn By	Date	06.07.2025
Drawn AB	Drawn OK	Approved RC	
Job No.	Drawn	Rev	
TW25040	W-101	B	
Name			TYR25040.DWG

BUILDING LAYOUT

ARMADALE TYRE RECYCLING PLANT